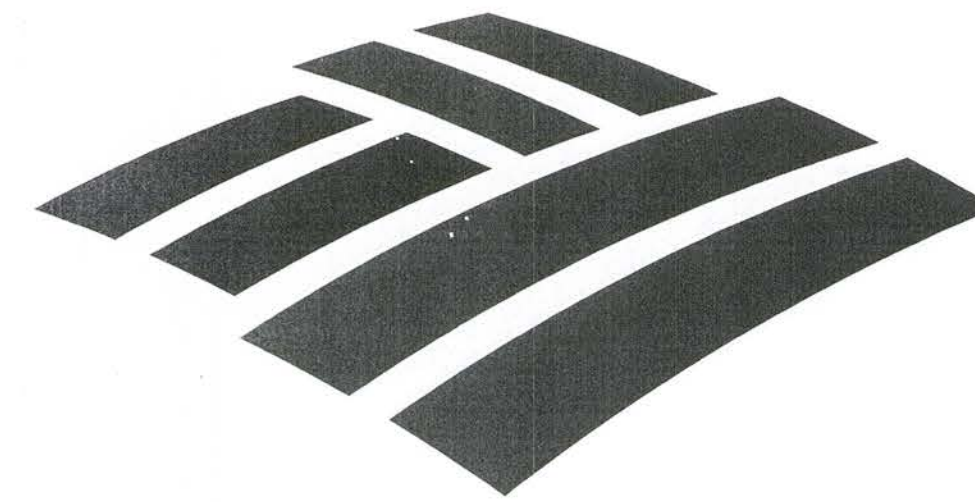


# Bank of America



## Shipyard Plaza ATM- UB

Site ID #: NCW-728

Issue for Permit	05.29.18
Revised per Parking Lot	07.25.18
Plan Comments	
Revised per Parking Lot	08.01.18
Plan Comments	

2640 Carolina Beach Rd, Wilmington, NC 28401  
69.6191.980 / 10-629.00

**Jones Lang LaSalle**  
Project Manager  
525 N Tryon St., 5th Floor  
Charlotte, NC 28202  
(919) 437-3599  
Attn: Jason Hale

M. Arthur Gensler Jr. & Associates, Inc.  
**Gensler**  
Architect  
LIC. NO. AA0002837  
Main Office  
2 Harrison Street, Ste 400  
San Francisco, CA 94105  
T: 415.433.3700

Satellite Office  
100 North Tampa St, Ste. 2300  
Tampa, FL 33602  
T: 813.204.9000  
Attn: Alyx Mays

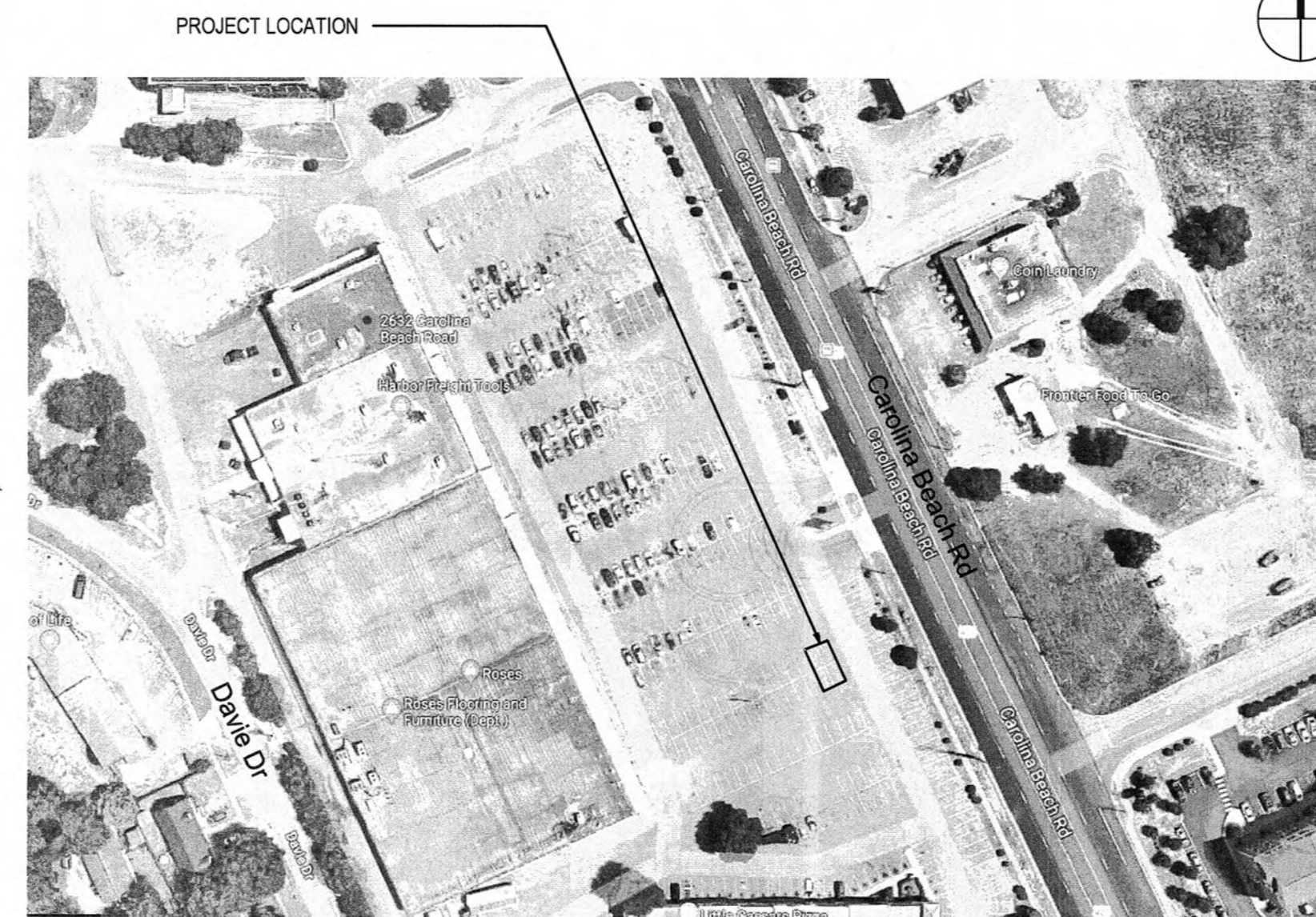
**Infinity Engineering Group, PLLC.**  
Engineer of Record  
1336 Harding Place  
Charlotte, NC 28204  
T: 813.434.4770  
Attn: Todd Stickler  
NC Firm Certificate No. P-1836

Public Services • Engineering Division	
APPROVED PLAN - NO PERMIT REQUIRED	
Signed: <i>Todd Stickler for RAC</i>	
Approved Construction Plan	
Name	Date
Planning <i>Ek. Ntrial</i>	8-6-18
Traffic <i>Wj. Stuckler</i>	8-6-18
Fire <i>Young Met</i>	8-6-18

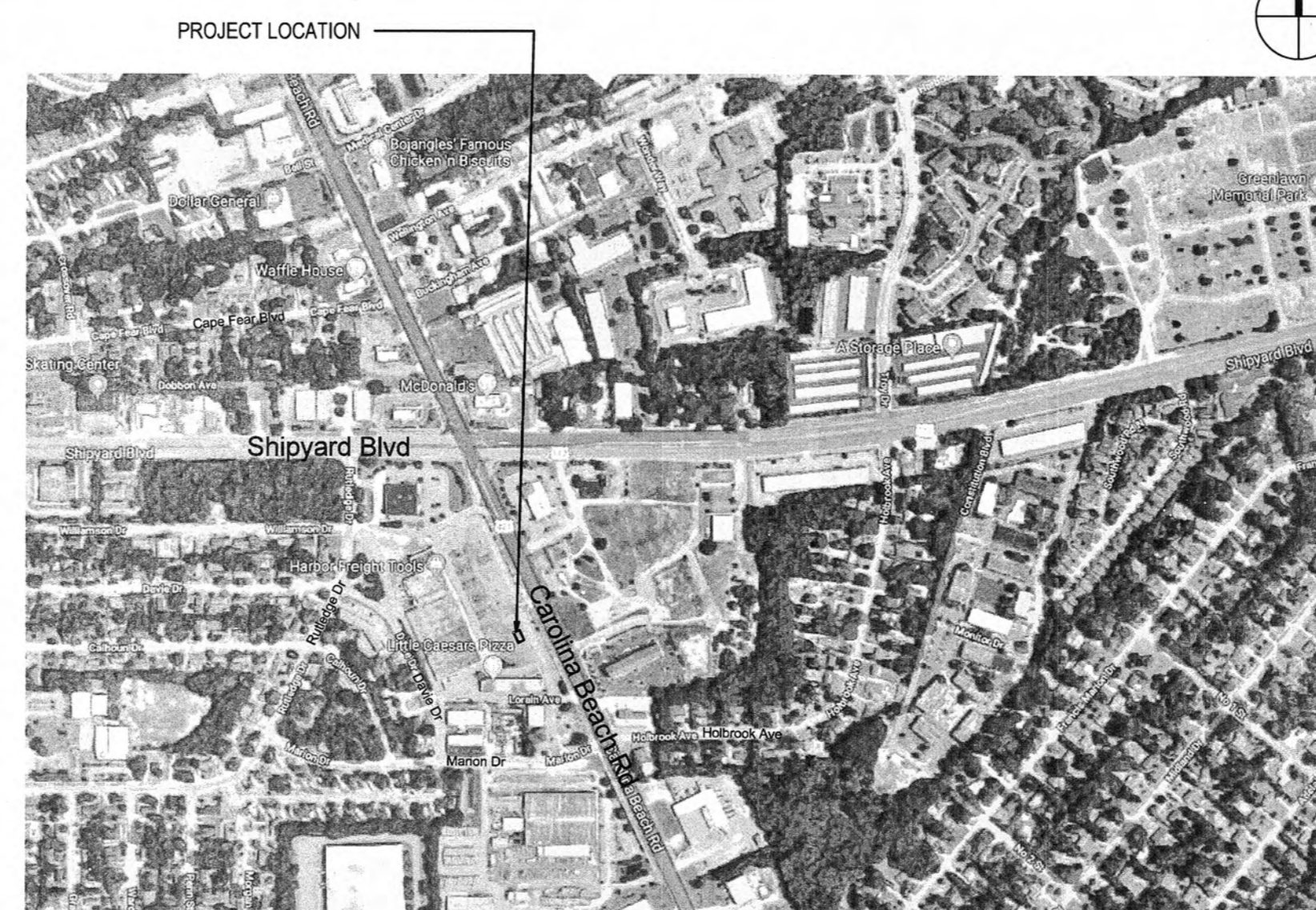


gensler.ad/projects/revit/ser/vcodea/2430065.6191.980\_BAC\_ATM\_UB\_Shipyard\_Plaza\_UB\_2017\_Redhika\_Pae@gensler.com.rvt

**LOCATION MAP**



**LOCATION MAP**



**PROJECT INFORMATION**

PROJECT ADDRESS: 2640 CAROLINA BEACH RD, WILMINGTON, NC 28401  
 PROJECT SIZE & TYPE: REMOTE EXTERIOR DRIVE-UP ATM

**APPLICABLE CODES**

EXISTING BUILDING CODE : NORTH CAROLINA BUILDING CODE, (2015)  
 ENERGY CODE : NORTH CAROLINA ENERGY CODE, (2012)  
 MECHANICAL CODE : NORTH CAROLINA MECHANICAL CODE, (2012)  
 PLUMBING CODE : NORTH CAROLINA PLUMBING CODE, (2012)  
 ELECTRICAL CODE : NORTH CAROLINA ELECTRICAL CODE, (2014)  
 FIRE CODE : NORTH CAROLINA FIRE CODE, (2012)  
 FUEL GAS CODE : NORTH CAROLINA FUEL GAS CODE, (2012)

**DRAWING INDEX**

Sheet Number	Sheet Name
000	COVER SHEET

**ARCHITECTURAL**

A00.00	DRAWING INDEX, LOCATION MAP, SITE PLAN & PROJECT INFORMATION
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**CIVIL**

C00.01	CIVIL SPECIFICATIONS
C01.00	OVERALL SITE PLAN
C01.01	DEMOLITION PLAN
C02.01	SITE PLAN
C03.01	GRADING PLAN
C12.01	DETAILS
C12.02	DETAILS
C12.03	DETAILS
S-1	TOPOGRAPHIC SURVEY

**ELECTRICAL**

E00.01	ELECTRICAL GENERAL NOTES AND LEGEND
E01.01	ELECTRICAL SITE PLAN
E01.02	SITE PHOTMETRICS PLAN AT 36" A.F.G.
E02.01	ELECTRICAL RISER DIAGRAM, PANEL SCHEDULE AND DETAILS
E03.01	ELECTRICAL SPECIFICATIONS

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 INFINITY ENGINEERING GROUP, PLLC  
 1336 Harding Place  
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 www.ieggroup.net  
 NC Firm Certificate No. P-1836

**City of Wilmington Approval Blocks**

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED PLAN - NO PERMIT REQUIRED  
 Signed: *Janet Balle* for RAC  
**Approved Construction Plan**  
 Name: \_\_\_\_\_ Date: \_\_\_\_\_  
 Planning: *E.V. Jindra* 8-6-18  
 Traffic: *W. Stuber* 8-6-18  
 Fire: *Jay Mott* 8-6-18

Date	Description
05.17.18	ISSUE FOR REVIEW
05.29.18	ISSUE FOR PERMIT
07.25.18	REVISED PER PARKING LOT PLAN COMMENTS
08.01.18	REVISED PER PARKING LOT PLAN COMMENTS

**Seal / Signature**



**Project Name**  
 Shipyard Plaza ATM- UB

**Project Number**  
 69.6191.980 / 10-629.00

**Scale**

**Description**  
 DRAWING INDEX, LOCATION MAP, SITE PLAN & PROJECT INFORMATION

**A00.00**

UTILITY GENERAL NOTES:

- 1. CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION AND ADVISE THE ENGINEER OF RECORD OF ANY CONFLICTS IMMEDIATELY.

PAVING AND GRADING GENERAL NOTES:

- 1. THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO ANY CONSTRUCTION IF ANY PROBLEMS OR DISCREPANCIES EXIST. THIS PROJECT IS TO BE BUILT IN ONE PHASE.

ELECTRICAL FLOOD PROOFING NOTES:

- 1. ALL PIPING MUST BE PVC AND HAVE THREADED FITTINGS AT ALL JOINTS.

DEMOLITION GENERAL NOTES:

- 1. CONTRACTOR TO DEMOLISH AND REMOVE ALL IMPROVEMENTS AS NOTED.

SITE PLAN GENERAL NOTES:

- 1. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF BUILDING.

SITE DATA:

Table with 2 columns: Item, Value. Includes Parcel ID, Site Address, Owner/Mailing, Zoning, Gross Site Areas, Building Size, Flood Zone, and Tree Removal.

GENERAL NOTES:

SPECIFICATIONS FOR GENERAL CONTRACTORS PERFORMING WORK FOR BANK OF AMERICA

- 1. UPON COMPLETION OF THE JOB, THE CONTRACTOR WILL PROVIDE THE OWNER WITH: AS-BUILT DRAWINGS, RELEASE OF LIENS FOR ALL SUB-CONTRACTORS, A FINAL RELEASE OF LIENS FROM THE GENERAL CONTRACTOR.

DISRUPTIVE WORK WILL BE COORDINATED WITH THE PROPERTY MANAGER.

GENERAL NOTES

- 1. THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY ALL CONDITIONS OF THE WORK PRIOR TO SUBMITTING A BID.

USE AND INTERPRETATION OF THESE DRAWINGS:

- 1. GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION AIA DOCUMENT A201, ARE A PART OF A CONTRACT DOCUMENTS AS DESCRIBE USE AND INTENT OF THE DRAWINGS.

A.D.A

ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH A.D.A ACCESSIBILITY GUIDELINES AS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT HANDBOOK...

IMPLEMENTATION OF SUCH.

SITE WORK:

- 1. CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK SHALL VISIT THE SITE AND VERIFY THE LOCATION OF ALL UTILITIES AND DETERMINE THEIR CAPACITIES.

CONCRETE:

- 1. TAMP FRESH Poured CONCRETE WITH STEEL RAMMER AND SLICING TOOLS UNTIL CONCRETE IS THOROUGHLY COMPACTED AND WITHOUT VOIDS.

REINFORCEMENT:

- 1. REINFORCEMENT STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615.68 SPECIFICATIONS FOR NEW DEFORMED BILLET STEEL AND TO GRADE 60 WITH A MIN. YIELD STRENGTH OF 60,000 P.S.I.

ELECTRICAL:

- 1. THE DRAWINGS INDICATE THE LOCATION OF EQUIPMENT, RUNS, AND OUTLETS DIAGRAMMATICALLY. INDICATED LOCATIONS ARE ESSENTIAL TO THE OVERALL AESTHETIC CONCEPT.

CITY OF WILMINGTON - GENERAL NOTES:

- 1. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.

Bank of America Shipyard Plaza ATM- UB

2640 Carolina Beach Rd, Wilmington, NC 28410

M. Arthur Gensler Jr. & Associates Inc.

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Main Office 2 Harrison Street Suite 400 San Francisco CA 94105

Satellite Office 100 North Tampa Street Suite 2300 Tampa FL 33602



1336 Harding Place Charlotte, NC 28204

City of Wilmington Approval Blocks

City of Wilmington approval stamp including project name, date, and signatures.

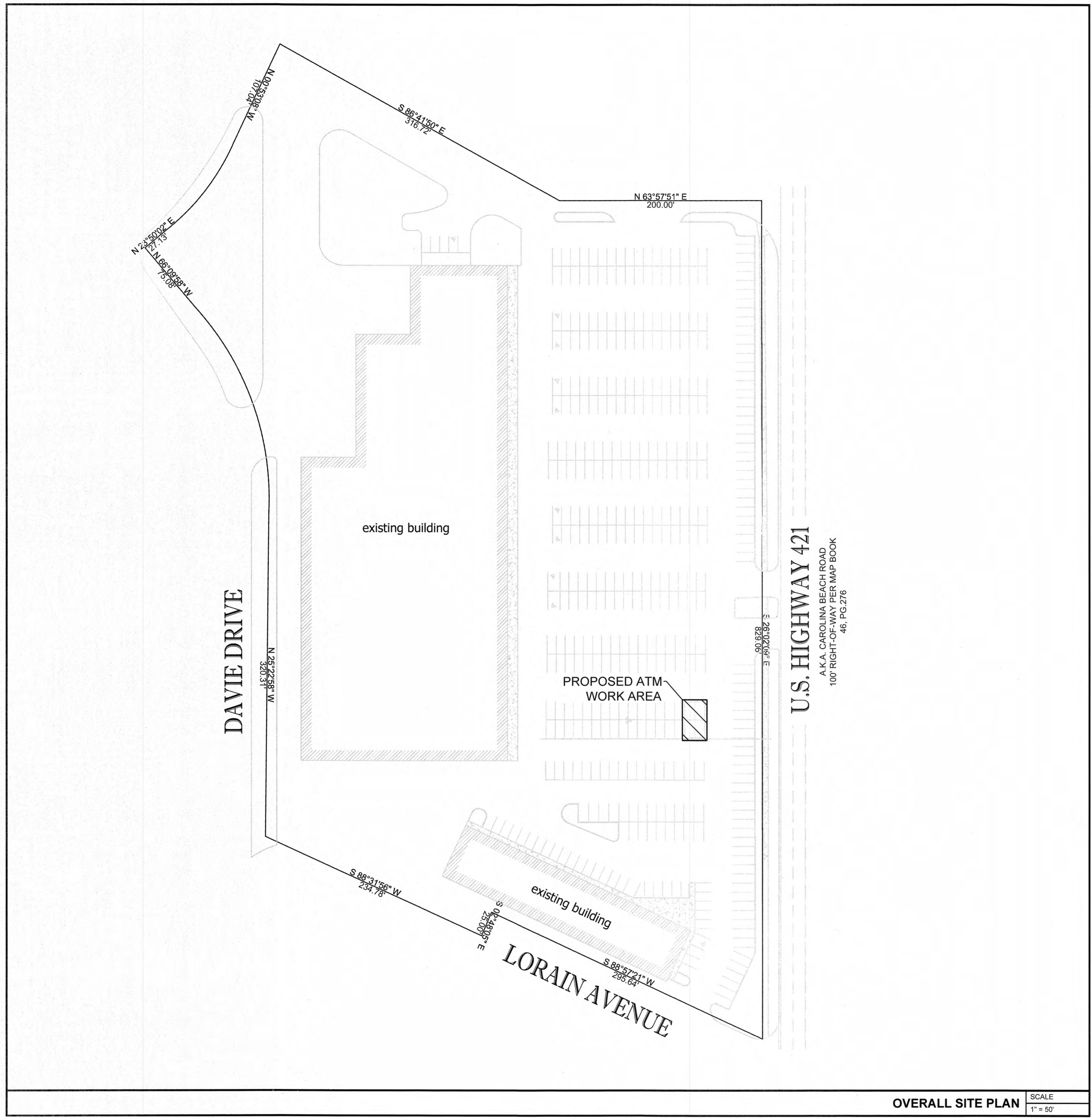
Table with columns: Date, Description. Lists approval dates and descriptions.

Seal / Signature



Table with fields: Project Name, Project Number, Scale, Description.

C00.01



**OVERALL SITE PLAN** SCALE 1" = 50'

**LEGEND:**

- HANDICAP PARKING
- EXISTING CONCRETE
- EXISTING

**SITE AREAS:**

	PROPOSED AREAS		EXISTING AREAS	
GROSS SITE AREA	=	397,228.66 SF 100%	=	397,228.66 SF 100%
PERVIOUS AREA:	=	42,695.85 SF 11%	=	42,695.85 SF 11%
IMPERVIOUS AREA:	=	354,632.81 SF 89%	=	354,632.81 SF 89%

**PARKING DATA:**

EXISTING PARKING SPACES	=	420 SPACES
PARKING SPACES TO BE REMOVED FOR PROPOSED ATM	=	4 SPACES
PROPOSED PARKING SPACES	=	416 SPACES

**TREE REMOVAL NOTE:**

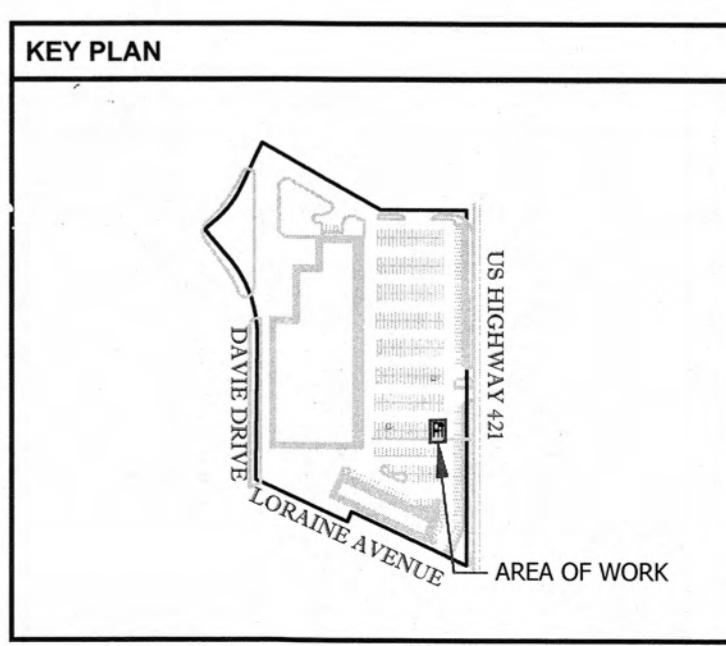
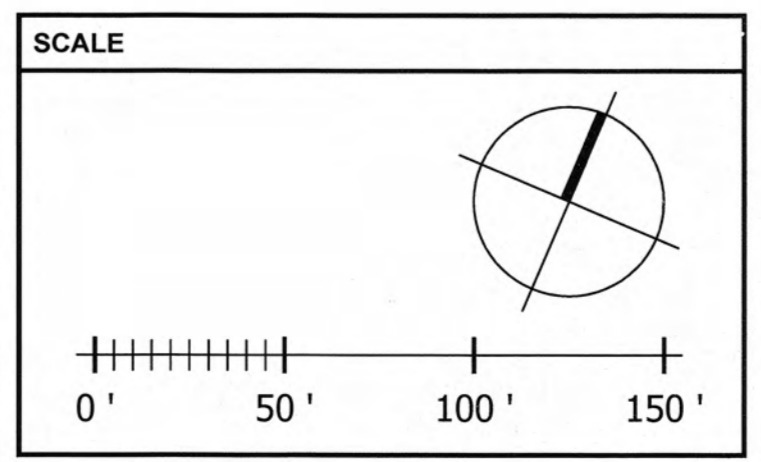
THERE WILL BE NO TREE REMOVAL AS PART OF THIS PROJECT.

**EXISTING BUILDINGS:**

Name	Use Type	Zoning Class	Unit Size (SF)	Parking Requirements	Required Parking Spaces (Nos)
<b>Building #1</b>					
Little Caesars #15	Restaurant	RB - Regional Business	1,260	1 space per every 3 seats plus 1 per 2 employees	6
Jackson Hewitt #14	General Office	RB - Regional Business	630	1 space per every 400 square feet	2
Liberty Tax #13	General Office	RB - Regional Business	630	1 space per every 400 square feet	2
Quality Hair Salon #12	Retail	RB - Regional Business	630	1 space per every 400 square feet	2
Vacant Unit #11	N/A	RB - Regional Business	630	N/A	2
Kim's Beauty Supply #9-10	Retail	RB - Regional Business	1,260	1 space per every 400 square feet	4
Watch Repair #8	Retail	RB - Regional Business	630	1 space per every 400 square feet	2
Super Nails #7	Retail	RB - Regional Business	630	1 space per every 400 square feet	2
Tienda Latino Americana #5-6	Retail	RB - Regional Business	1,260	1 space per every 400 square feet	4
Vacant Unit #3-4	N/A	RB - Regional Business	1,260	N/A	4
Vacant Unit #1-2	N/A	RB - Regional Business	1,260	N/A	4
<b>TOTAL (BUILDING #1)</b>			<b>10,080</b>		<b>34</b>
<b>Building #2</b>					
Shipyards Medical #3	Medical	RB - Regional Business	2,662	4 spaces per doctor plus 1 per each employee	8
Harbor Freight Tools #2636	Retail	RB - Regional Business	18,000	1 space per every 400 square feet	45
Rose's Retail Store #2638	Retail	RB - Regional Business	60,000	1 space per every 400 square feet	150
ColorTyme #1	Retail	RB - Regional Business	3,900	1 space per every 400 square feet	10
<b>TOTAL (BUILDING #2)</b>			<b>84,562</b>		<b>213</b>
<b>TOTAL REQUIRED PARKING SPACES</b>					<b>247</b>

**ADJACENT PARCELS:**

Name	Use Type	Zoning Class	Remarks
Rite Aid	Retail	RB - Regional Business	Not owned by Rosemyr
Marley Reese Post 2573	Private Club	RB - Regional Business	Not owned by Rosemyr
Industrial Warehouse	Industrial	CS - Commercial Service	Not owned by Rosemyr



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 NC Firm Certificate No. P-1836

City of Wilmington Approval Blocks

**WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED PLAN - NO PERMIT REQUIRED  
 Signed: *Frank E. Sapparkhao* for RAC  
**Approved Construction Plan**  
 Name: *E.K. Futral* Date: *8-6-18*  
 Planning: *E.K. Futral* 8-6-18  
 Traffic: *W. Sapparkhao* 8-6-18  
 Fire: *Frank E. Sapparkhao* 8-6-18

Date	Description
05.17.18	ISSUE FOR REVIEW
05.29.18	ISSUE FOR PERMIT
07.25.18	REVISED PER PARKING LOT PLAN COMMENTS
08.01.18	REVISED PER PARKING LOT PLAN COMMENTS

Seal / Signature

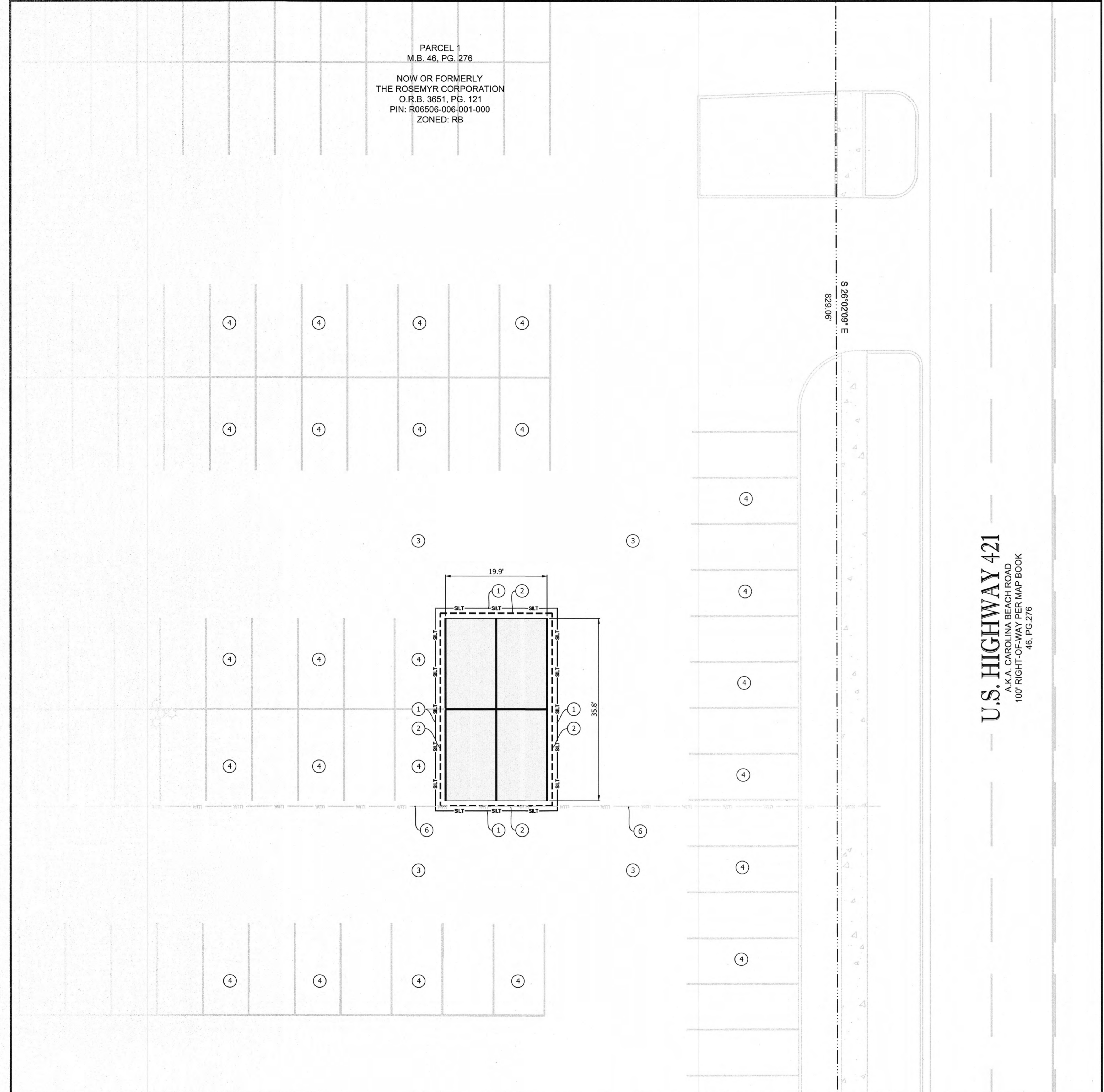
NISIT SAPPARKHAO, P.E.  
 NC REG. NO. 38066

DATE

<b>Project Name</b>	Shipyards Plaza ATM- UB
<b>Project Number</b>	69.6191.980 / 10-629.00
<b>Scale</b>	AS INDICATED
<b>Description</b>	OVERALL SITE PLAN

**C01.00**

PARCEL 1  
M.B. 46, PG. 276  
NOW OR FORMERLY  
THE ROSEMYR CORPORATION  
O.R.B. 3651, PG. 121  
PIN: R06506-006-001-000  
ZONED: RB



S 06020909 E  
E 6020.89

U.S. HIGHWAY 421  
A.K.A. CAROLINA BEACH ROAD  
100' RIGHT-OF-WAY PER MAP BOOK  
46, PG. 276

DEMOLITION PLAN  
SCALE  
1" = 10'

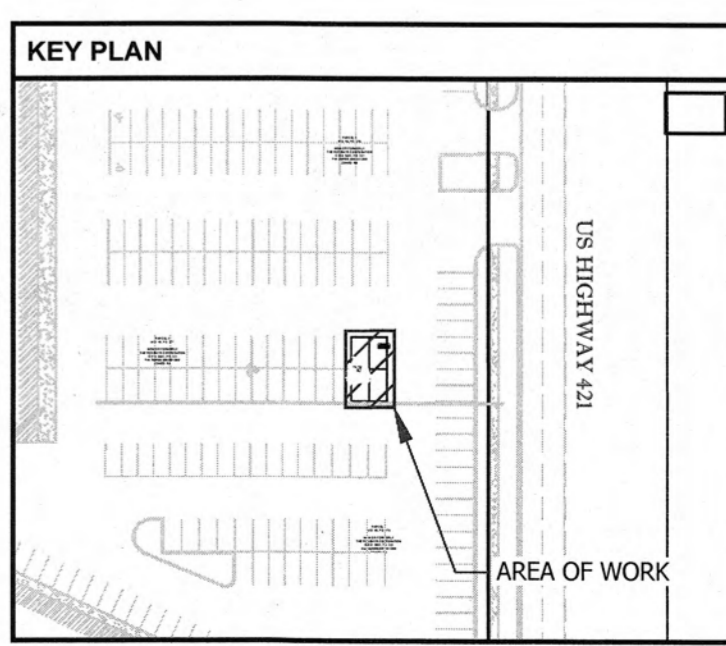
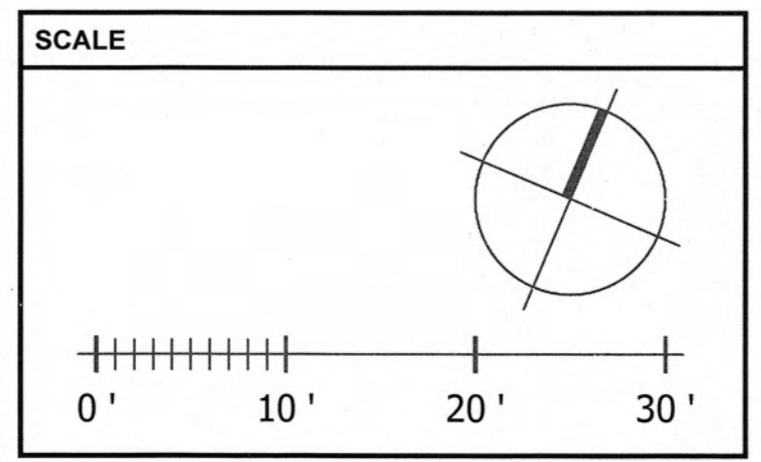
**LEGEND:**

	CONCRETE SIDEWALK TO BE SAWCUT AND REMOVED
	ASPHALT PAVEMENT TO BE REMOVED
	EXISTING CONCRETE TO REMAIN
	EXISTING TO BE REMOVED
	EXISTING TO REMAIN

- DEMOLITION NOTES:**
1. THE CONTRACTOR SHALL CHECK PLANS AND FIELD CONDITIONS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S ENGINEER OF ANY CONFLICT BEFORE PERFORMING ANY WORK IN THE AFFECTED AREA.
  2. ALL EXISTING IMPROVEMENTS ARE TO REMAIN UNLESS OTHERWISE NOTED.
  3. THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES WITHIN AREA OF WORK TO BE PERFORMED PRIOR TO DEMOLITION AND WILL BE RESPONSIBLE FOR THE DAMAGE OF ANY ON-SITE OR OFF-SITE UTILITIES THAT ARE NOT A PART OF THIS PROJECT OR ARE NOT IDENTIFIED TO BE REMOVED.
  4. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
  5. DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, THE CONTRACTOR SHALL COMPLY WITH REGULATIONS. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF ITS PERSONNEL. LABOR SAFETY REGULATIONS SHALL BE AS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF LABOR.
  6. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.

**KEYED NOTES:**

①	EROSION CONTROL (36" HEIGHT SILT FENCE)
②	LIMITS OF CONSTRUCTION
③	EXISTING DRIVEWAY AND DRIVE AISLES TO REMAIN
④	EXISTING PARKING TO REMAIN
⑤	EXISTING ASPHALT PAVEMENT TO BE REMOVED (NOTE: BASE AND SUB-BASE TO BE REMOVED WITHIN LIMITS OF NEW LANDSCAPE ISLAND)
⑥	EXISTING 8" DI WATERMAIN TO REMAIN



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**CITY OF WILMINGTON**  
NORTH CAROLINA  
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APPROVED PLAN - NO PERMIT REQUIRED  
Signed: *Trent B. [Signature]* for RAC  
**Approved Construction Plan**  
Name: *E.V. Fubal* Date: *8-6-18*  
Traffic: *W. [Signature]* 8-6-18  
Fire: *Greg [Signature]* 8-6-18

△	Date	Description
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Seal / Signature



DATE

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Shipyard Plaza ATM- UB

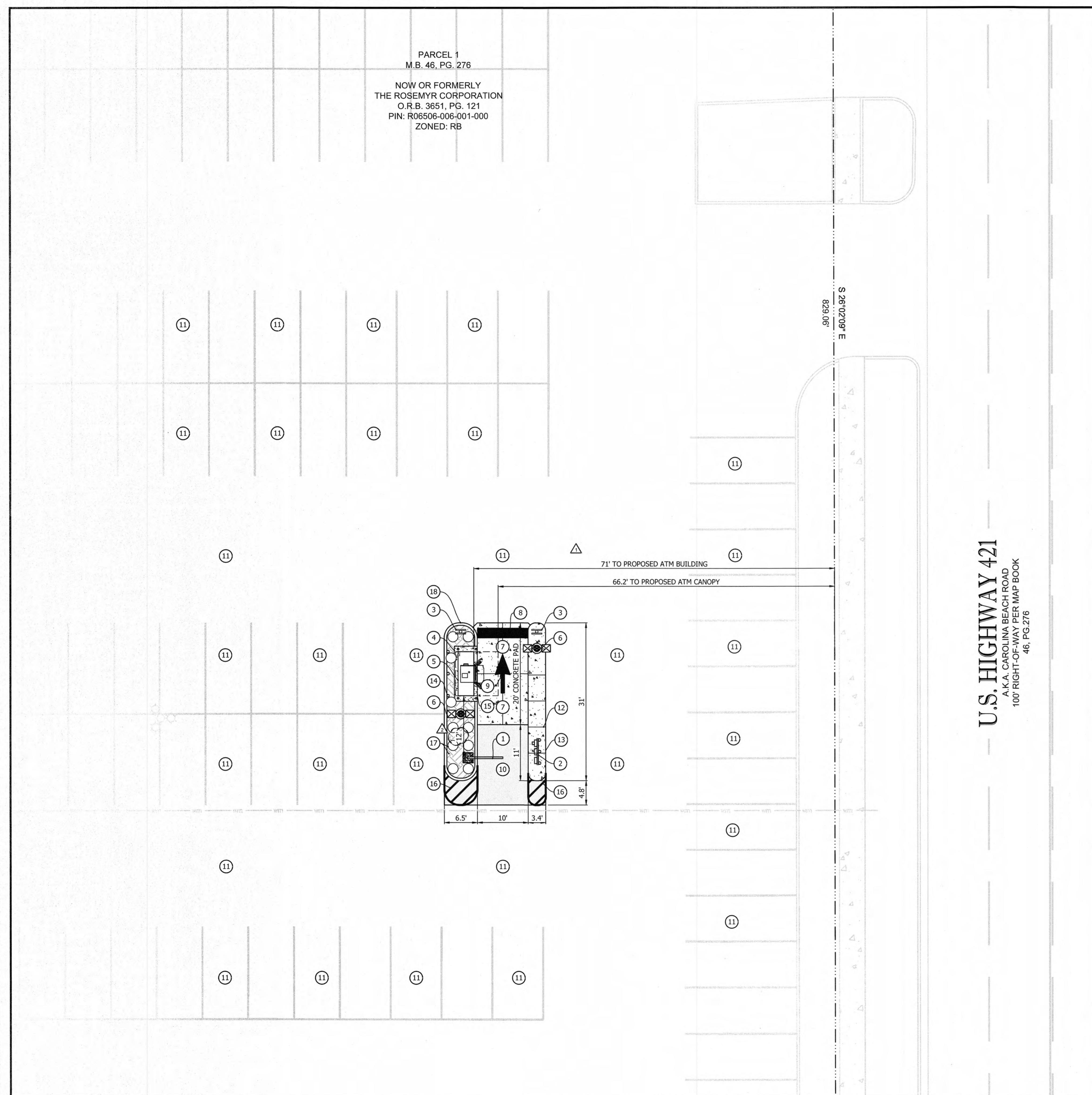
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69.6191.980 / 10-629.00

**Scale**  
AS INDICATED

**Description**  
DEMOLITION PLAN

**C01.01**

PARCEL 1  
M.B. 46, PG. 276  
NOW OR FORMERLY  
THE ROSEMYR CORPORATION  
O.R.B. 3651, PG. 121  
PIN: R06506-006-001-000  
ZONED: RB



**U.S. HIGHWAY 421**  
A.K.A. CAROLINA BEACH ROAD  
100' RIGHT-OF-WAY PER MAP BOOK  
46, PG. 276

**LEGEND:**

	PROPOSED CONCRETE
	EXISTING CONCRETE
	PROPOSED ASPHALT PAVEMENT
	PROPOSED MULCH
	EXISTING CURBING
	PROPOSED CURBING
	H/C AND PARKING STRIPING

**LANDSCAPE & IRRIGATION NOTES:**

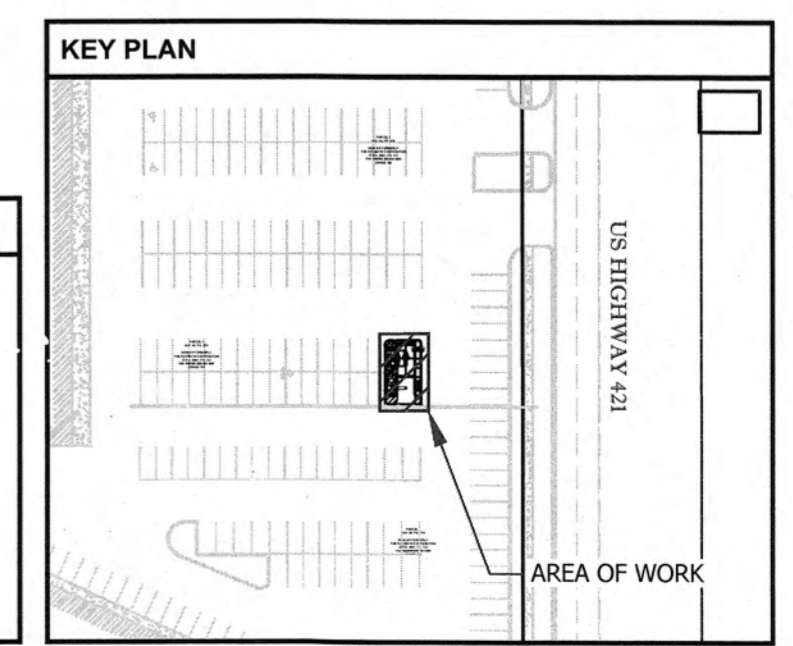
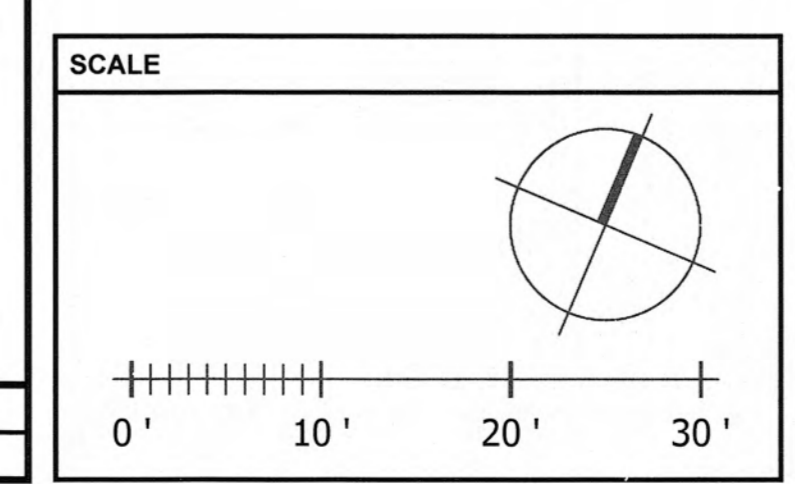
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL HAVE THE TURF RESTORED TO EXISTING CONDITIONS (OR BETTER), UNLESS OTHERWISE INDICATED IN THE PLANS OR SPECIAL PROVISIONS.
- DROUGHT TOLERANT XERISCAPING HAS BEEN DESIGNED FOR THIS PROJECT.
- CONNECTION TO IRRIGATION SYSTEM IS NOT PROPOSED. OWNER IS RESPONSIBLE TO MAINTAIN AND WATER THE LANDSCAPING WITH HOSE BIB/WATER TANKER AS AND WHEN REQUIRED.
- ANY PLANTED MATERIAL THAT BECOMES DAMAGED OR DISEASED OR DIES, OR IS IMPROPERLY MAINTAINED SHALL BE REPLACED BY THE OWNER WITHIN SIXTY (60) DAYS OF THE OCCURRENCE OF SUCH CONDITION. IF IN THE OPINION OF THE CITY MANAGER, THERE ARE SEASONAL CONDITIONS WHICH WILL NOT PERMIT THE TIMELY REPLACEMENT OF THE VEGETATION (E.G., TOO HOT OR TOO COOL FOR SUCCESSFUL REPLANTING) THIS REQUIREMENT MAY BE ADMINISTRATIVELY WAIVED UNTIL A TIME CERTAIN SUCH THAT THE REPLANTING WOULD BE SAFE.

**EXPANSION JOINT NOTE:**

CONTRACTOR TO INSTALL EXPANSION JOINTS ALONG ALL NEW SIDEWALK WHEN ABUTTING NEW AND EXISTING STRUCTURES AND EXISTING CONCRETE SIDEWALKS.

**KEYED NOTES:**

1	NEW CLEARANCE BAR
2	FREE STANDING ELECTRICAL/DATA SERVICE RACK
3	NEW "DO NOT ENTER" / "STOP" SIGN
4	NEW ATM FOUNDATION / CONCRETE SLAB
5	NEW HYOSUNG 7800IC DU ATM WITH FRAME-R-UB-DU-H7800I-CEN1 AND REQUIRED BOLLARDS
6	NEW LIGHT POLE (TYPICAL OF 2)
7	NEW 6-INCH CONCRETE PAVEMENT
8	NEW 24" "WHITE" PAINTED STOP BAR
9	NEW "WHITE" PAINTED DIRECTIONAL ARROW (TYPICAL)
10	NEW ASPHALT PAVEMENT
11	EXISTING DRIVE AISLES/PARKING
12	SAWCUT A 1/4" CONTROL JOINT AS SHOWN. NEW CONTROL JOINT DEPTH MUST BE A MINIMUM OF 25% OF THE OVERALL SLAB DEPTH AND BE PERFORMED WITHIN 12 HR OF POUR. (TYPICAL). SEE DETAIL SHEET C12.01.
13	NEW RAISED CONCRETE ISLAND (TYPICAL)
14	NEW 6" BOLLARD (TYP OF 3) @ 4' O.C.
15	EXPANSION JOINT (TYP)
16	NEW 4" WHITE PAINT STRIPING @ 24" O.C.
17	TEN (10) 3-GALLON DWARE YAUPON HOLLY PLANTS WITHIN NEW LANDSCAPE AREAS. INSTALL NEW CYPRESS MULCH. MULCH TO A DEPTH OF 3-INCHES
18	6"x18" VERTICAL CURB (TYPICAL). SEE CITY STANDARD DETAIL, SHEET C12.03. ASPHALT TO HAVE A SAWCUT CLEAN EDGELINE WHEN ABUTTING EXISTING ASPHALT PAVEMENT



**SITE PLAN** SCALE 1" = 10'

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Seal / Signature

NSIT SAPPARKHAD P.E.  
NC REG. NO. 38066

DATE

**Project Name**  
Shipyard Plaza ATM- UB

**Project Number**  
69.6191.980 / 10-629.00

**Scale**  
AS INDICATED

**Description**  
SITE PLAN

**C02.01**

PARCEL 1  
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NOW OR FORMERLY  
THE ROSEMYR CORPORATION  
O.R.B. 3651, PG. 121  
PIN: R06506-006-001-000  
ZONED: RB

BENCHMARK SET  
TOP OF 1/2" RBS  
ELEVATION: 53.56'  
(NAVD 88)

S 26° 02' 09" E  
829.06'

U.S. HIGHWAY 421  
A.K.A. CAROLINA BEACH ROAD  
100' RIGHT-OF-WAY PER MAP BOOK  
46, PG. 276

**LEGEND:**

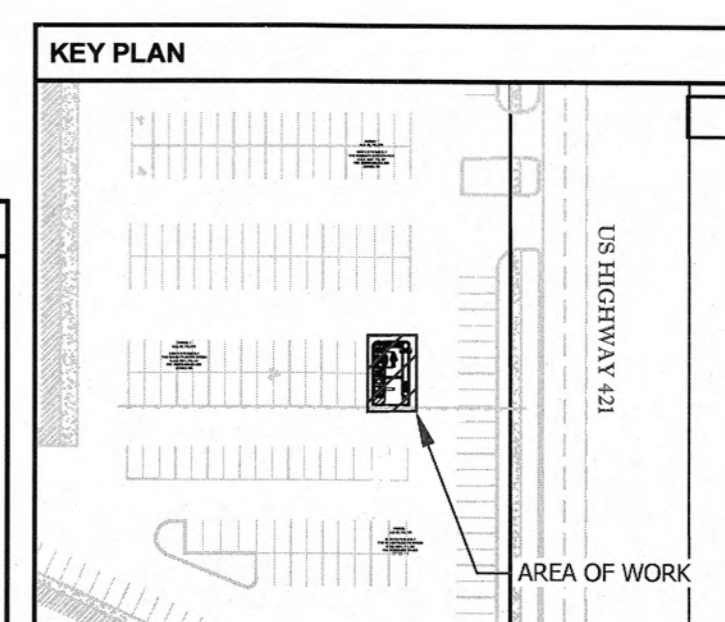
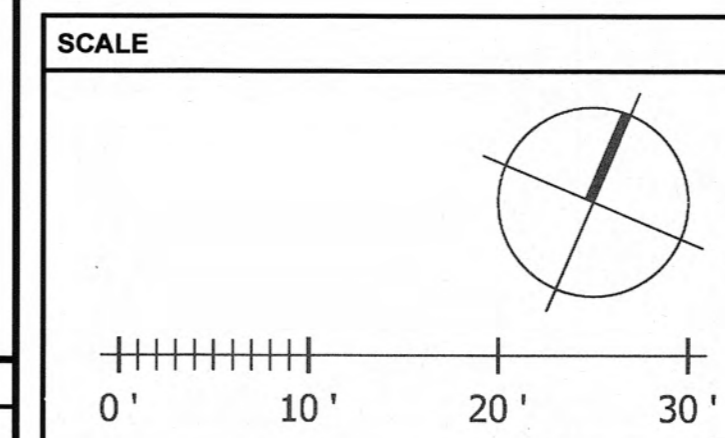
	EXISTING CONCRETE
	PROPOSED CONCRETE
	PROPOSED CURB
	EXISTING CURBING
	HIGH POINT
	EXISTING GRADE
	PROPOSED TOP OF CONCRETE ELEVATION IN FEET.
	PROPOSED EDGE OF PAVEMENT ELEVATION IN FEET.
	PROPOSED EDGE OF PAVEMENT ELEVATION IN FEET.
	F.F.E. FINISH FLOOR ELEVATION
	MEG MATCH EXISTING GRADE
	TOC TOP OF CONCRETE

**GRADING NOTE:**

- ADJUST EXISTING BASE THICKNESS DEPTH AS NEEDED TO MEET THE PROPOSED GRADES.
- BUILDING AND PEDESTRIAN SIDEWALKS AND PEDESTRIAN CROSSING TO HAVE A MAXIMUM OF 2.00% CROSS SLOPE AND 5.00% RUNNING SLOPE.
- CONTRACTOR TO MAINTAIN EXISTING DRAINAGE PATTERN TO PREVENT ANY PONDING AREA.
- ALL IMPROVEMENTS WITHIN DASHED LINES ARE TO HAVE A SLOPE NO MORE THAN 2.00% IN ANY DIRECTION.
- ALL FINISHED LANDSCAPING TO HAVE A SLOPE NO MORE THAN 33.33% (1 TO 3) UNLESS OTHERWISE SPECIFIED.

**EROSION CONTROL MEASURE NOTES:**

REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AS NEEDED AND MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. FAILURE TO INSTALL OR PROPERLY MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS, AND INITIATION OF CIVIL PENALTY PROCEDURES.



GRADING PLAN SCALE 1" = 10'

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Shipyard Plaza ATM- UB

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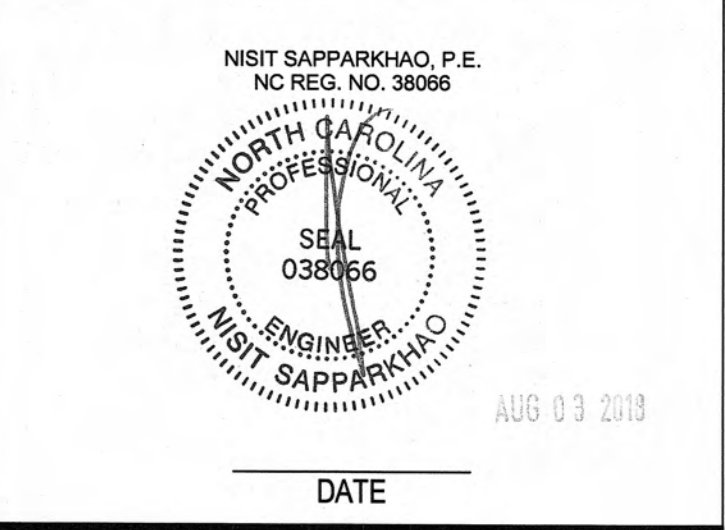
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**City of Wilmington Approval Blocks**

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED PLAN - NO PERMIT REQUIRED  
Signed: *Trent Butler for RAC*  
**Approved Construction Plan**  
Name: *E.V. Futral* Date: *8-6-18*  
Traffic: *W. Gensler* 8-6-18  
Fire: *Janey McA* 8-6-18

Date	Description
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05.29.18	ISSUE FOR PERMIT
07.25.18	REVISED PER PARKING LOT PLAN COMMENTS
08.01.18	REVISED PER PARKING LOT PLAN COMMENTS

Seal / Signature



Project Name  
Shipyard Plaza ATM- UB

Project Number  
69.6191.980 / 10-629.00

Scale  
AS INDICATED

Description  
GRADING PLAN

**C03.01**

City of Wilmington  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED PLAN - NO PERMIT REQUIRED  
 Signed: *Todd Baker for RAC*  
**Approved Construction Plan**  
 Name: *E.V. Fuchs* Date: *8.6.18*  
 Planning: *W. Smith* 8.6.18  
 Traffic: *Jeff Mat* 8-6-18  
 Fire: *Jeff Mat* 8-6-18

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DATE

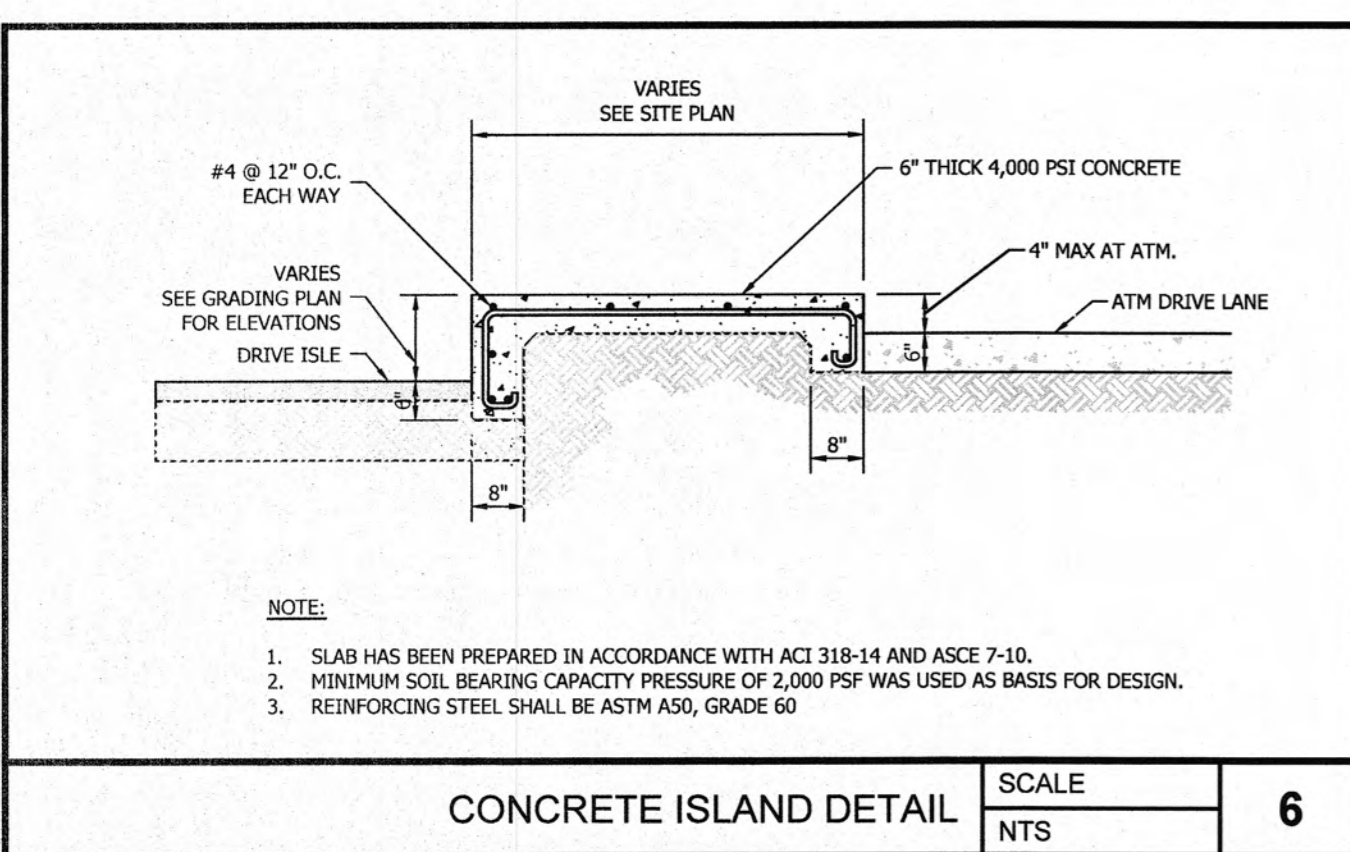
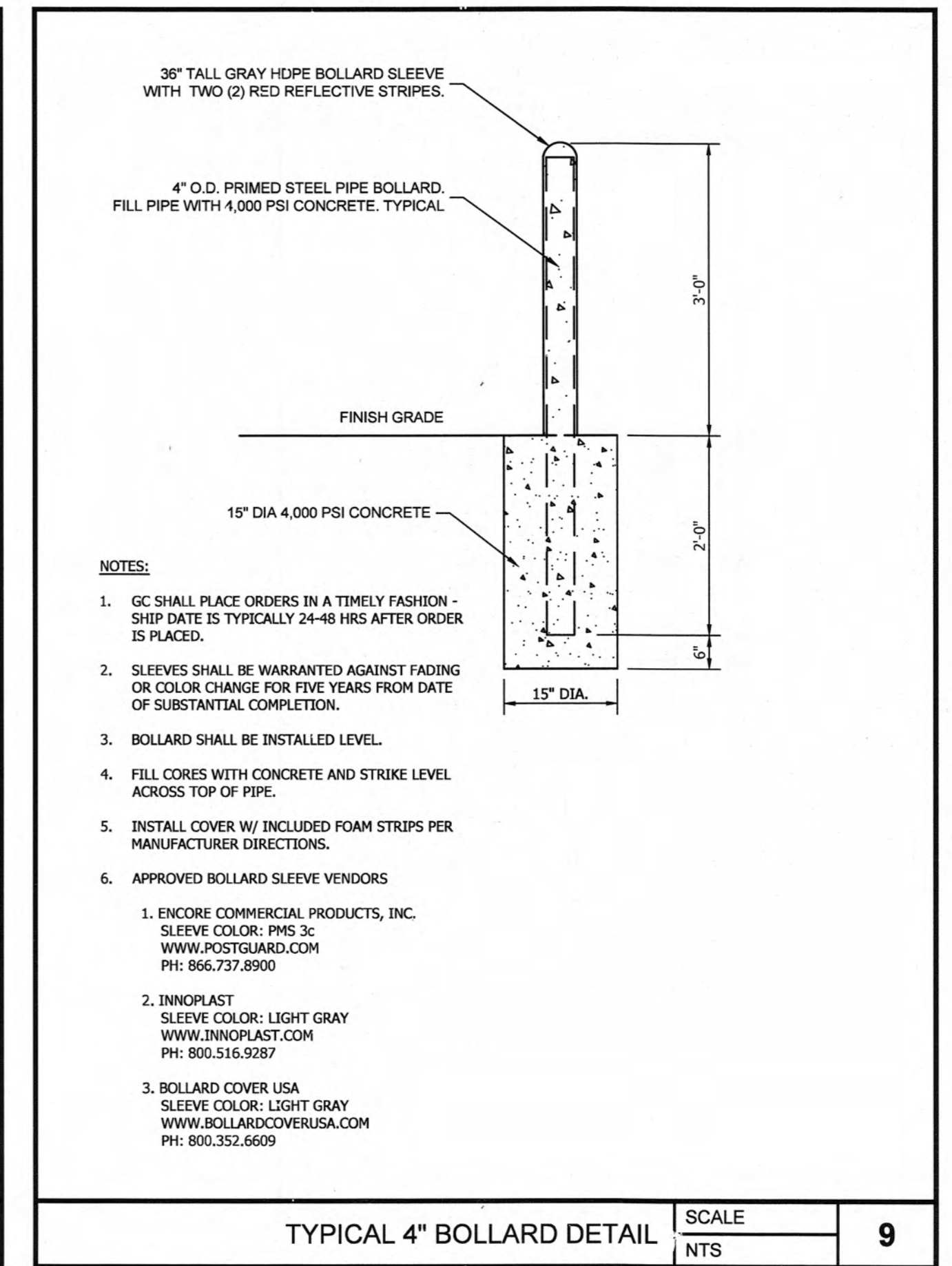
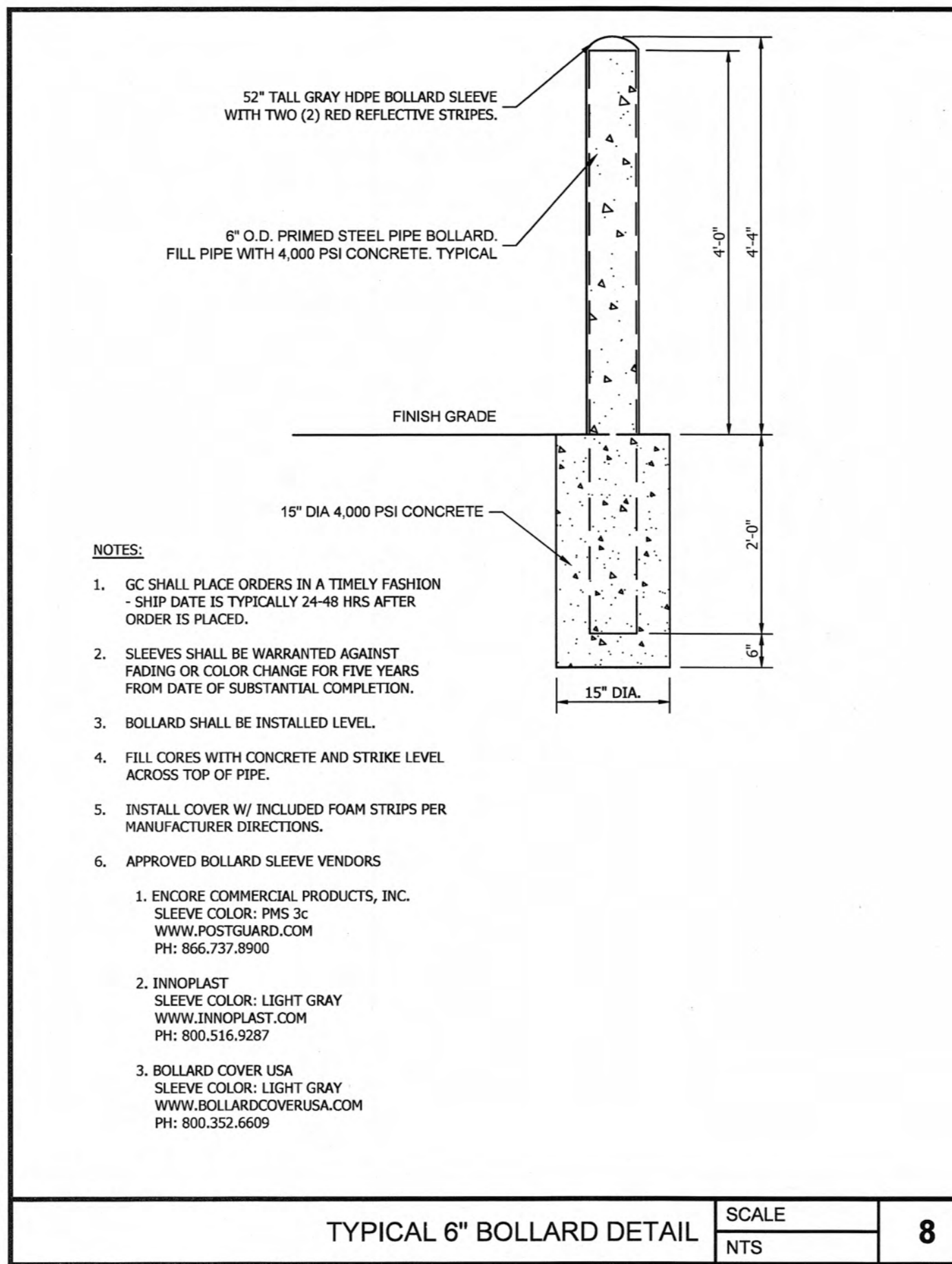
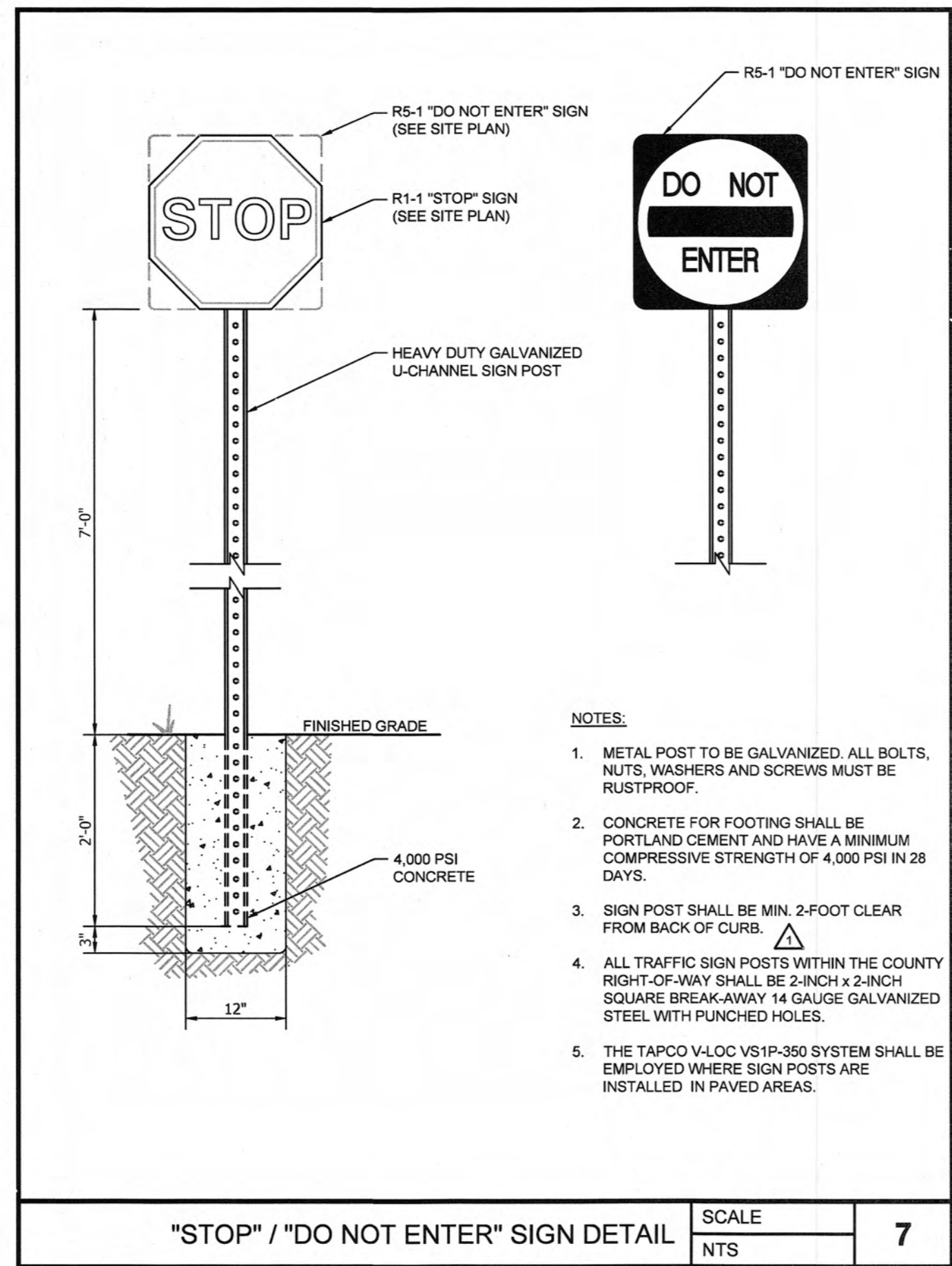
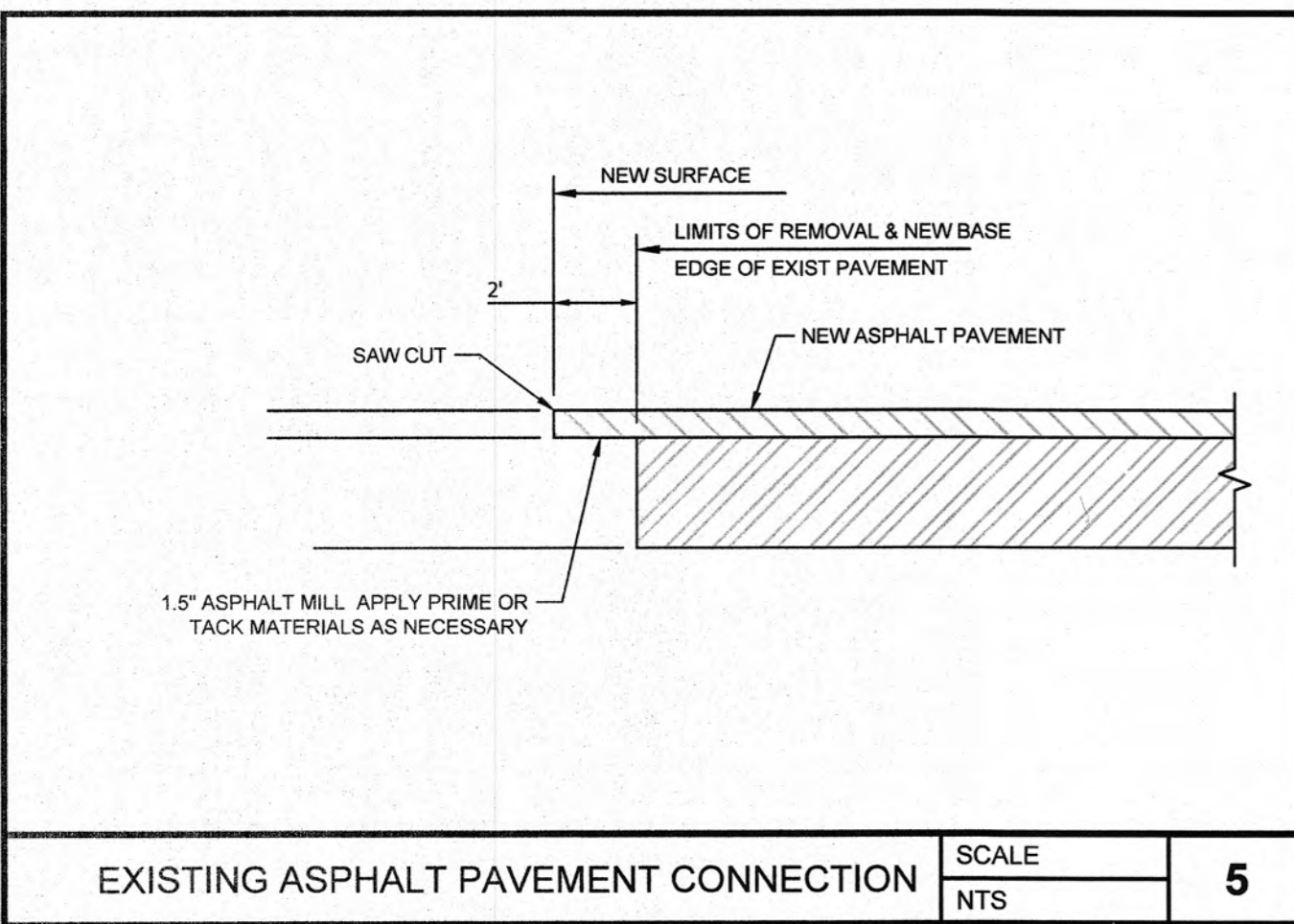
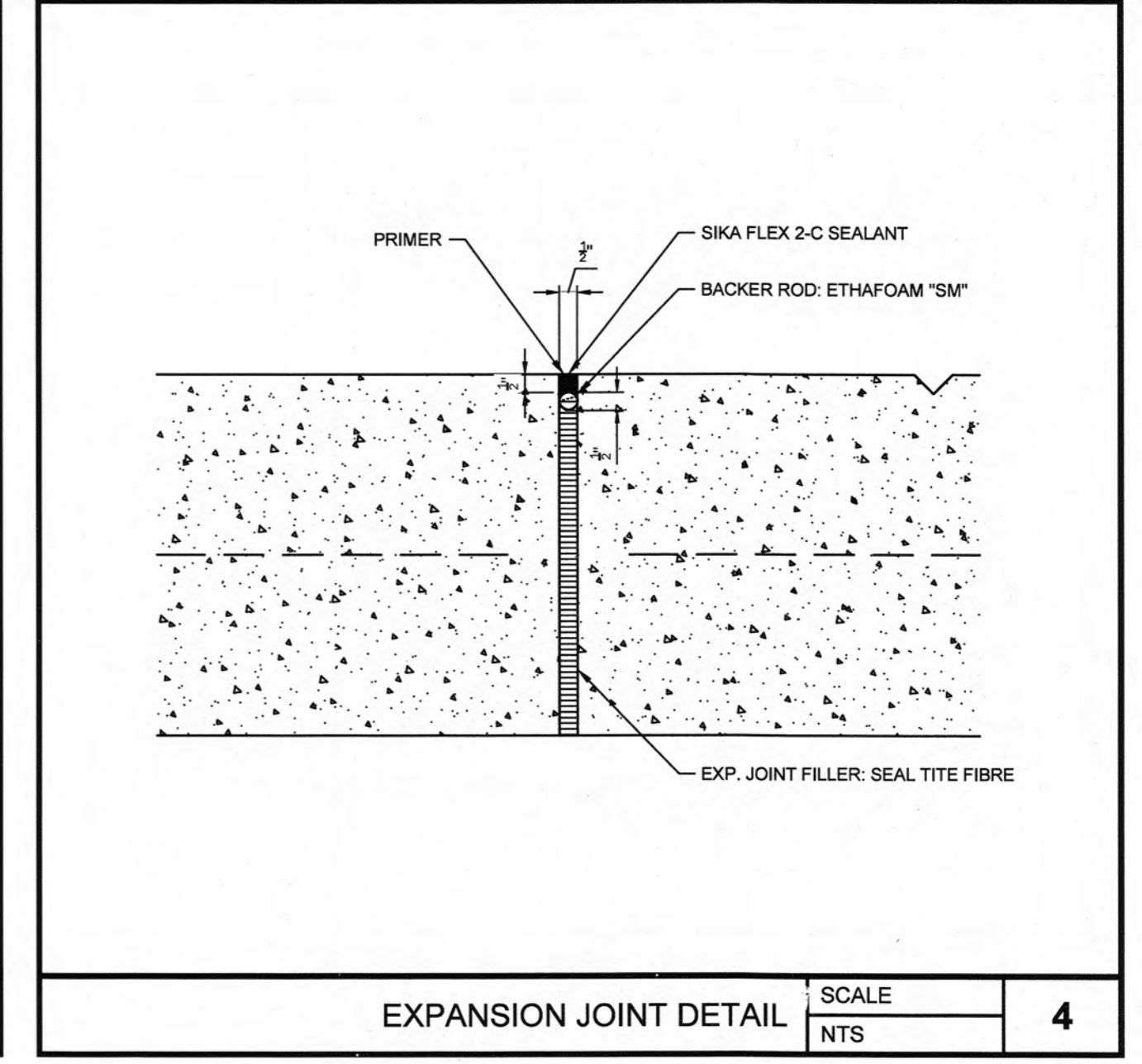
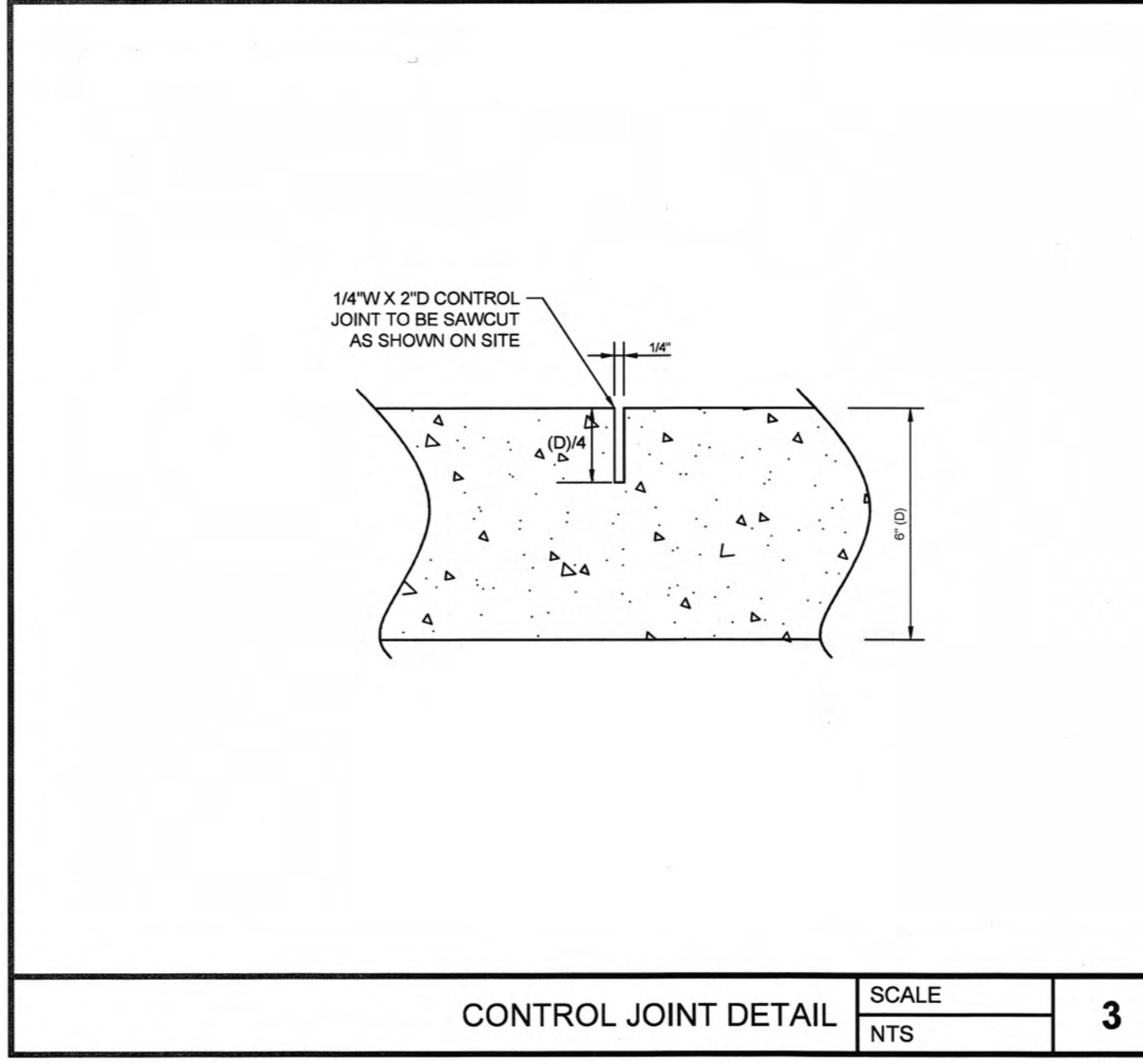
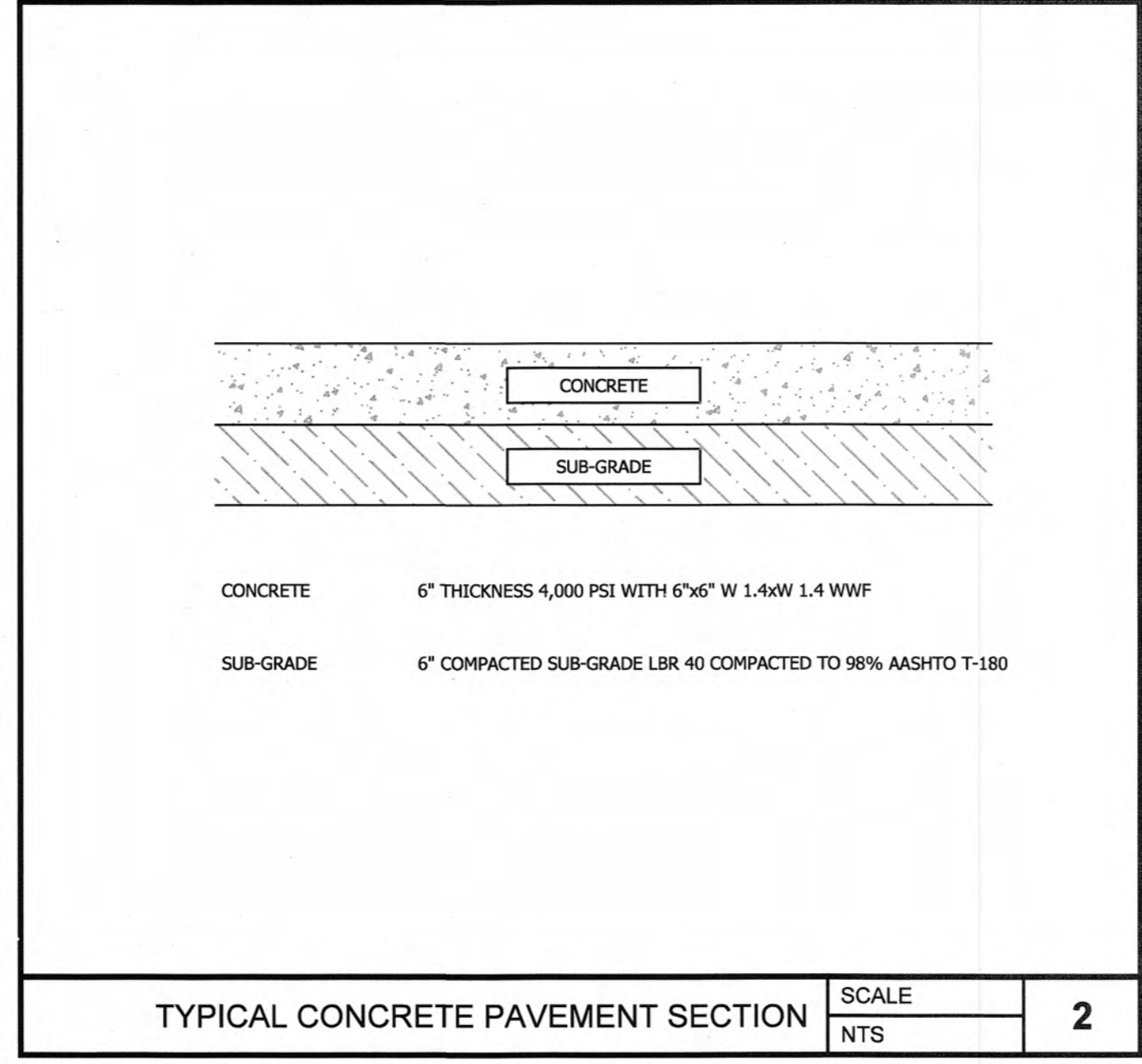
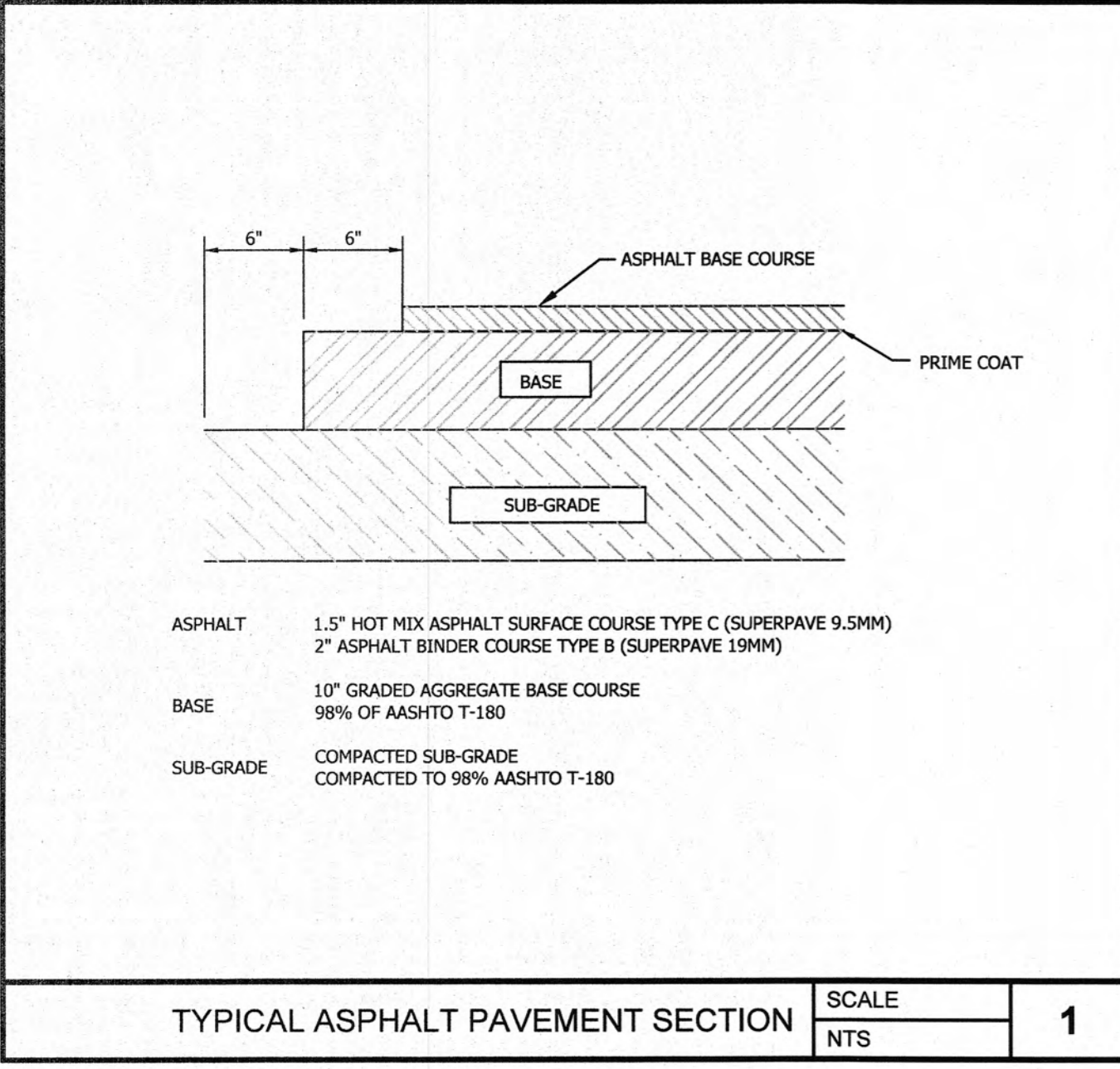
**Project Name**  
 Shipyards Plaza ATM- UB

**Project Number**  
 69.6191.980 / 10-629.00

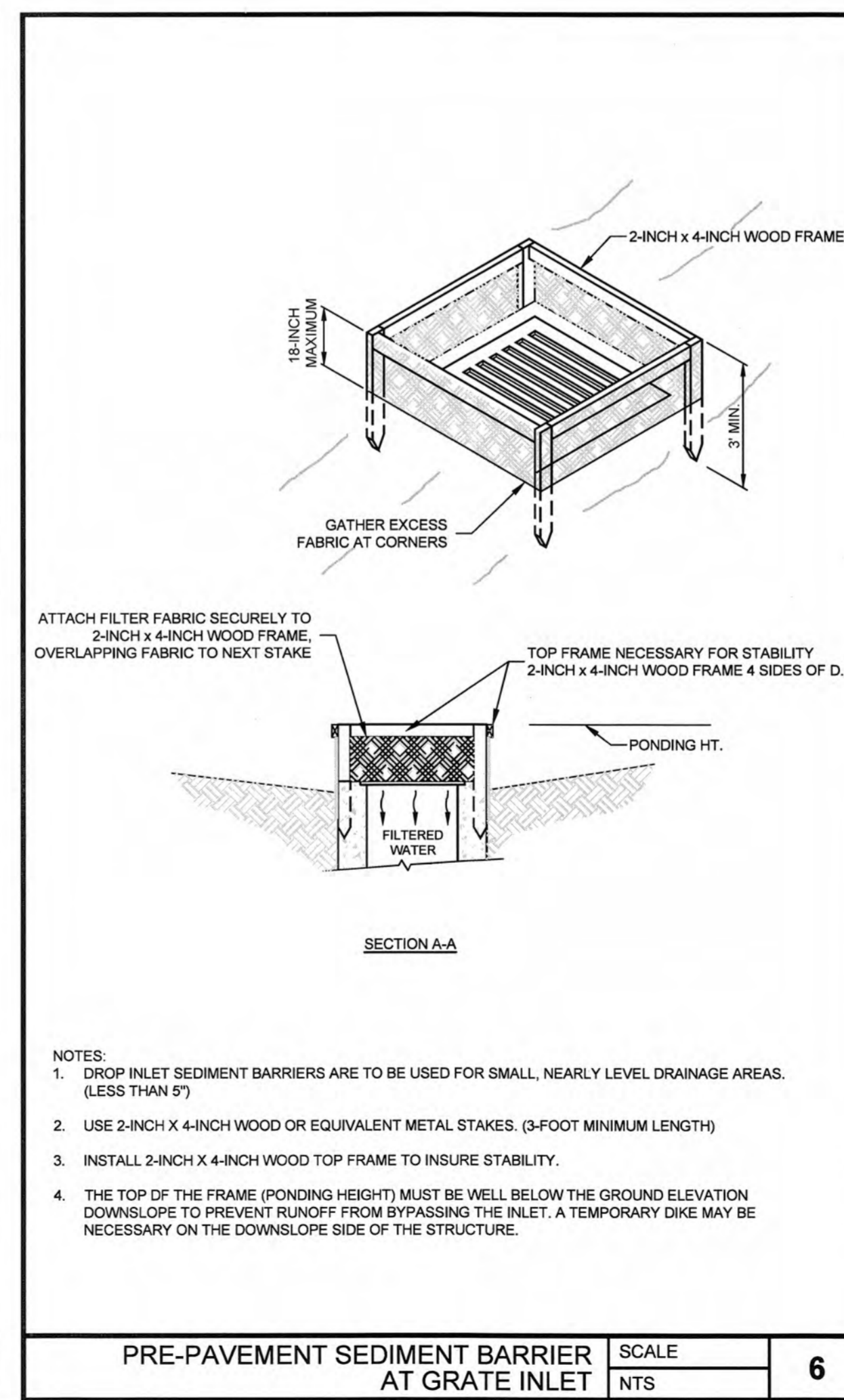
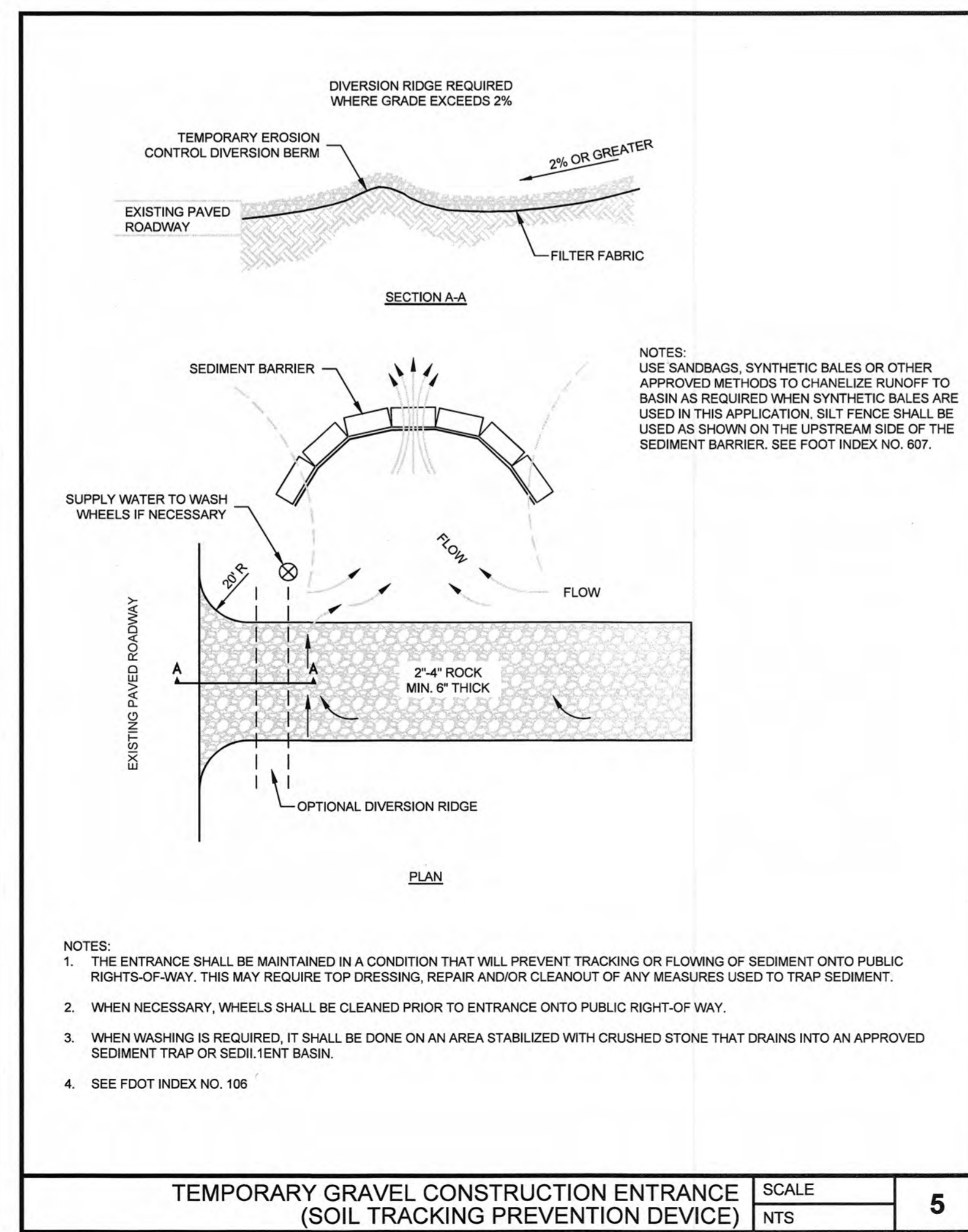
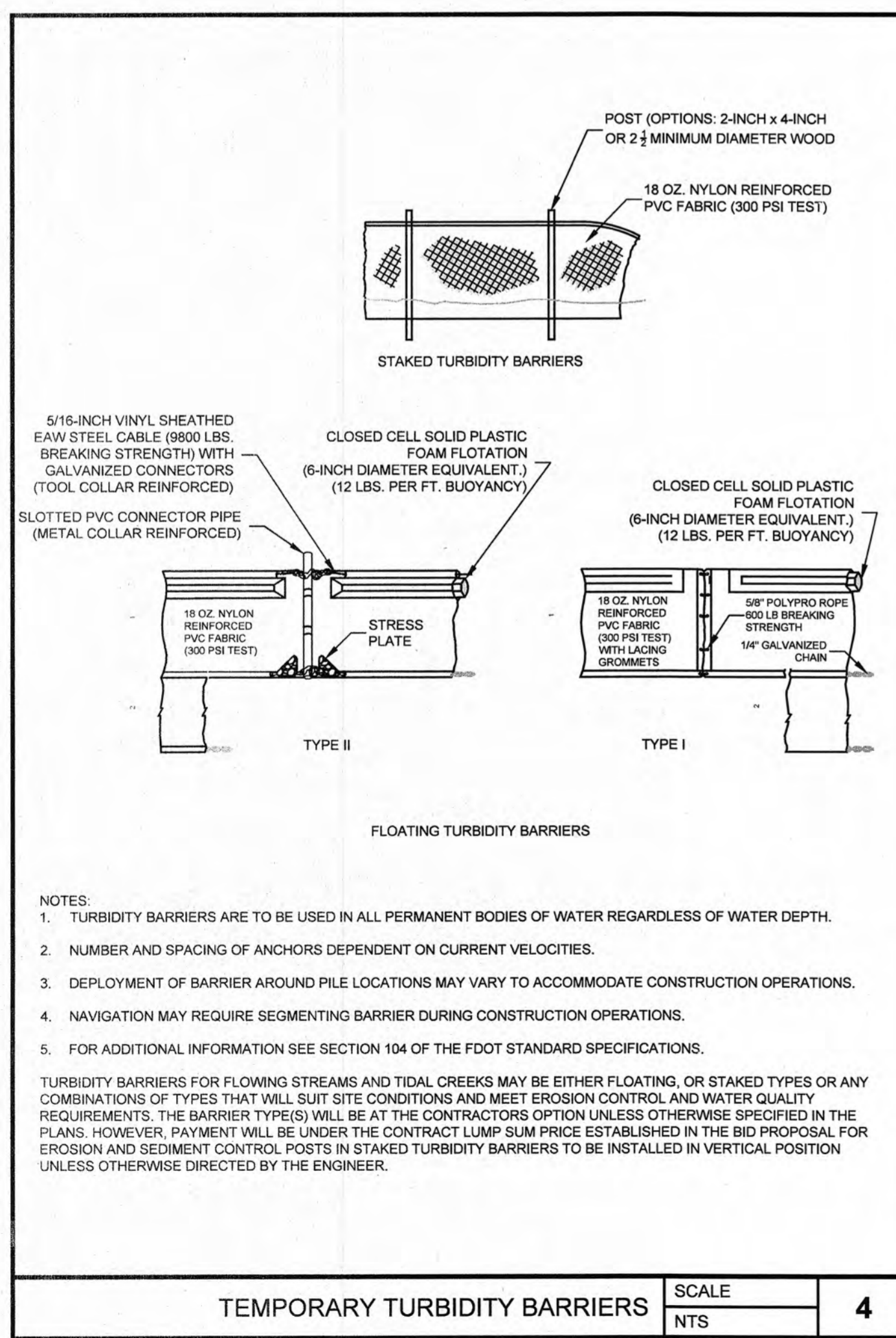
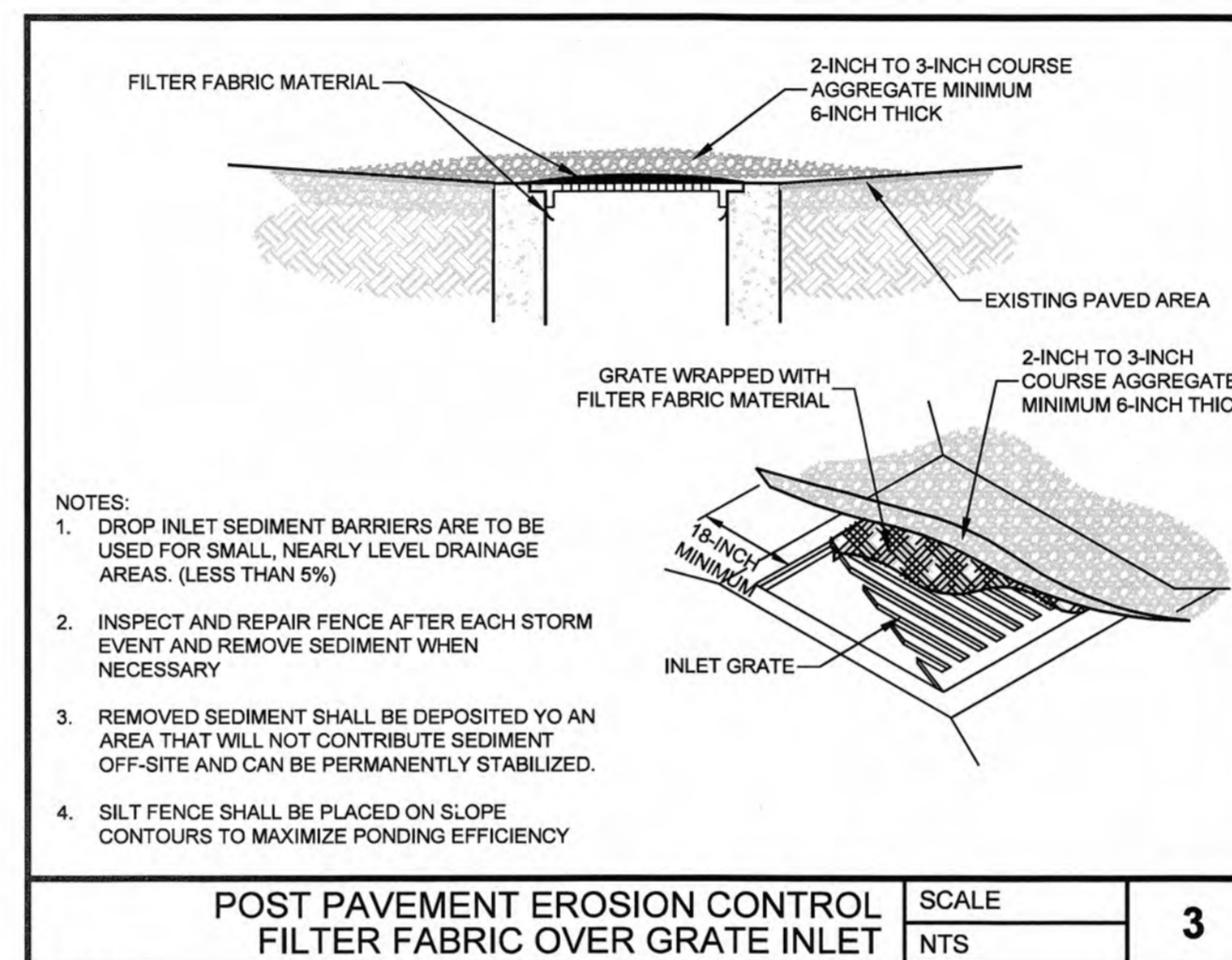
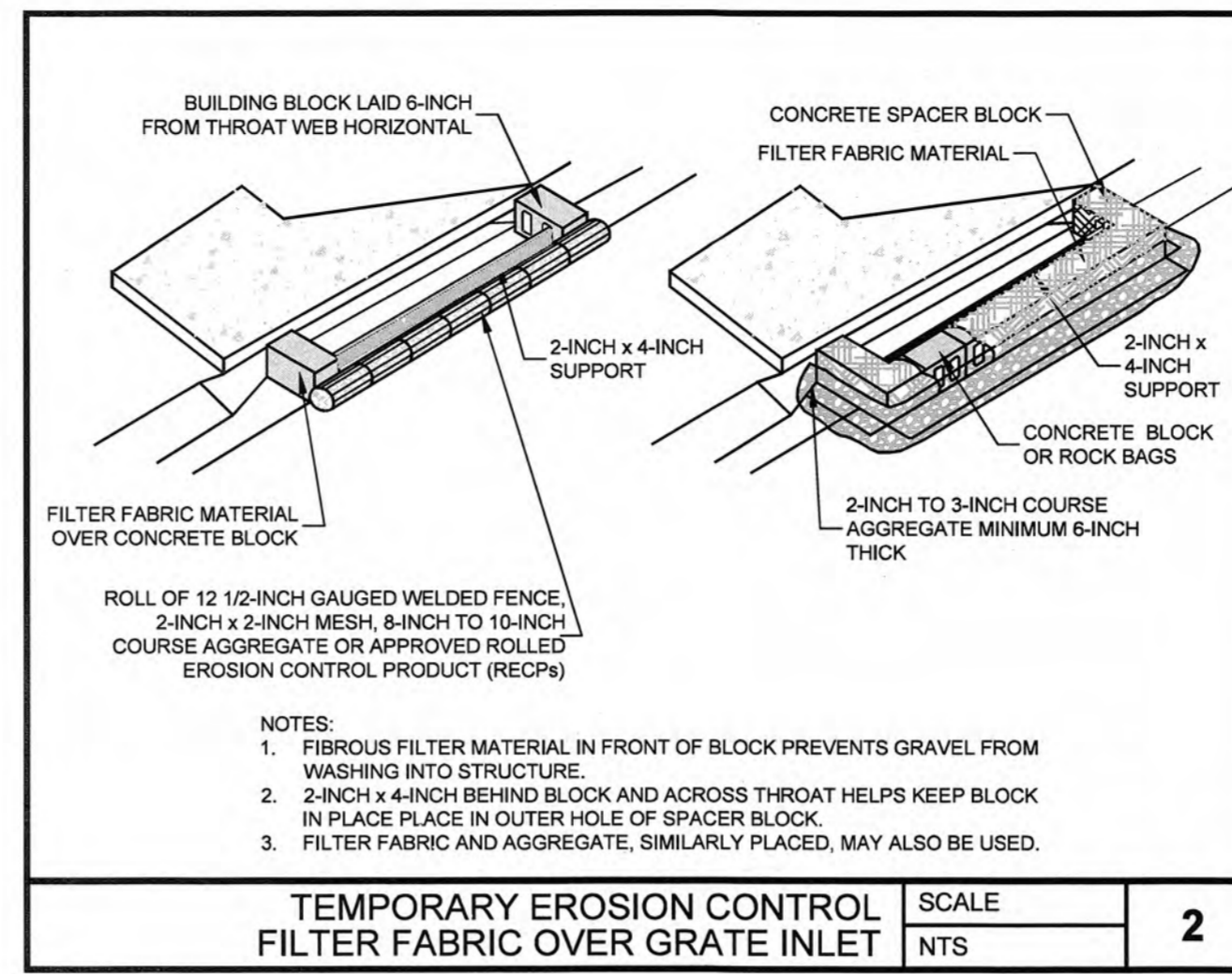
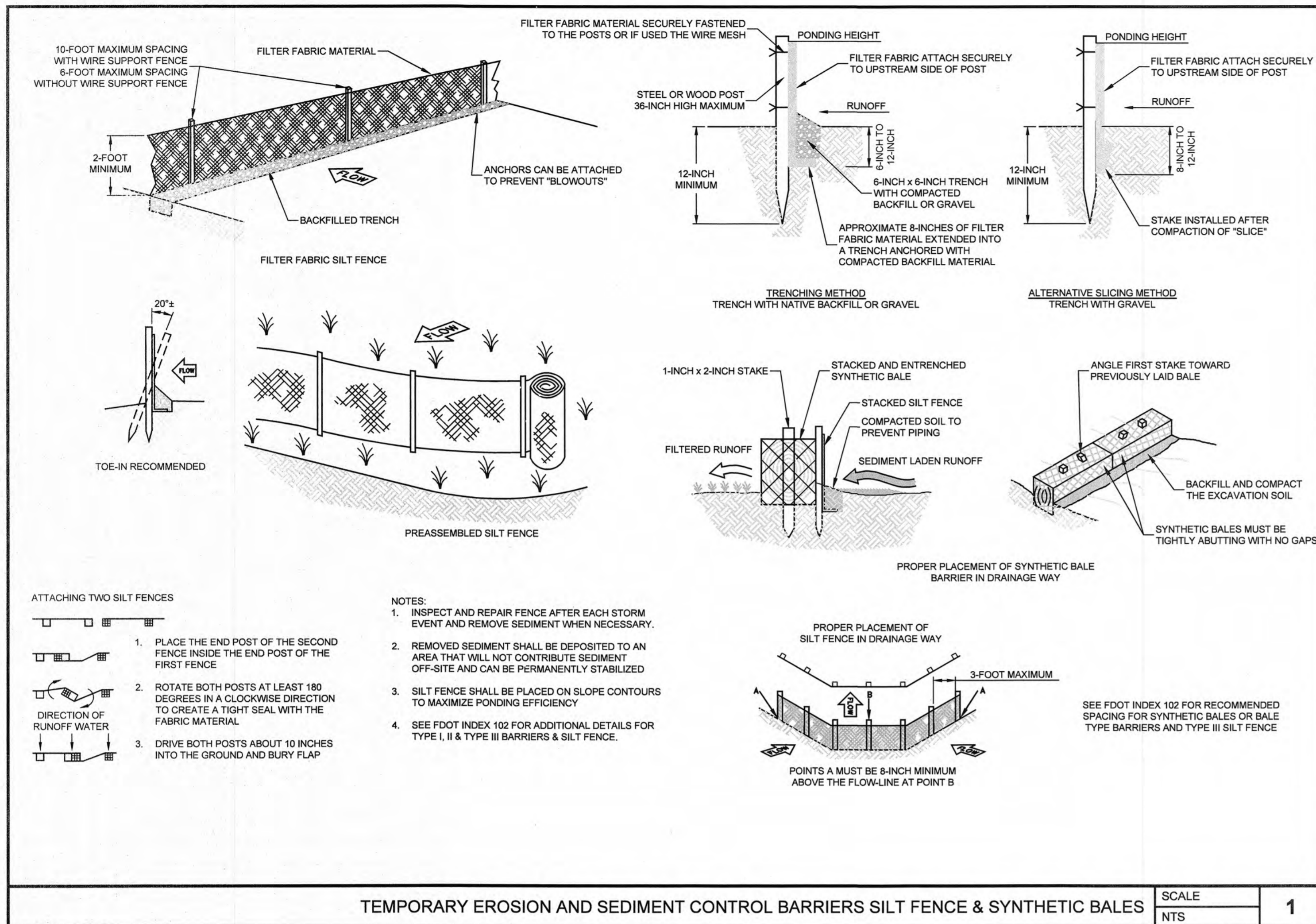
**Scale**  
 AS INDICATED

**Description**  
 DETAILS

**C12.01**







**GENERAL NOTES:**

- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AND SWALES AT COMPLETION OF CONSTRUCTION.
- THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
- ADDITIONAL PROTECTION - ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNSEEN CONDITIONS OR ACCIDENTS.
- CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST MANAGEMENT PRACTICES (BMP) AND MOST CURRENT EROSION AND SEDIMENT CONTROL PRACTICES. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.

**PRE-CONSTRUCTION SITE PROTECTION:**

- EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION. SEE DETAIL SHEET FOR TYPICAL CONSTRUCTION.
- ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
- DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD (1/3) THE HEIGHT OF THE BARRIER OR INLET. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- ALL DISTURBED AREAS ARE TO BE STABILIZED THROUGH COMPACTION, SILT SCREENS, SYNTHETIC BALES, AND GRASSING. ALL FILL SLOPES 3:1 OR STEEPER TO RECEIVE STAKED SOLID SOD.

**SITE PROTECTION:**

- THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED PROPERLY. A TRENCH SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 6 INCHES. BARRIER IS STAKED, THE EXCAVATED SOIL OR GRAVEL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER. USING WIRE BACKING FOR SUPPORT IS DISCOURAGED DUE TO DISPOSAL PROBLEMS.
- WATER OR SLURRY USED TO CONTROL DUST SHALL BE RETAINED ON THE SITE AND NOT ALLOWED TO RUN DIRECTLY INTO WATERCOURSE OR STORMWATER CONVEYANCE SYSTEMS.
- SPECIAL AREAS SHALL BE DESIGNATED AS VEHICLE AND EQUIPMENT WASHING AREAS AND SUCH AREAS SHALL NOT ALLOW RUNOFF TO FLOW DIRECTLY INTO WATERCOURSE OR STORMWATER CONVEYANCE SYSTEMS.
- SILT FENCE BARRIERS ARE NOT TO BE USED WHERE CONCENTRATED FLOWS OF WATER ARE ANTICIPATED SUCH AS DRAINAGE DITCHES, AROUND INLETS OR ABOVE/BELOW WHERE CULVERTS DISCHARGE.
- SYNTHETIC BALES, SANDBAGS OR OTHER APPROVED DEVICE FACED WITH FILTER FABRIC SHALL BE USED IN HIGH VOLUME AREAS TO DECREASE THE RUNOFF VELOCITY AND SHALL BE SECURELY ANCHORED.
- ALL DEVICES INCLUDING SILT FENCE, FILTER BARRIERS, SYNTHETIC BALES AND/OR SANDBAGS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BARRIERS, END RUNS AND UNDERCUTTING BENEATH BARRIERS.
- ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

**STORM DRAIN INLET PROTECTION:**

- FILTER FABRIC SHALL BE LAID OVER INLETS SO THAT THE FABRIC EXTEND A MINIMUM OF 1 FOOT BEYOND EAST SIDE OF THE INLET STRUCTURE. FILTER FABRIC IN CONFORMANCE WITH D.O.T. OR COMPARABLE SHALL BE USED. IF MORE THAN ONE STRIP OF FABRIC IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED.
- 2 INCH - 3 INCH COARSE AGGREGATE SHALL BE PLACED OVER THE FILTER FABRIC. THE DEPTH OF STONE SHALL BE AT LEAST 6 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.
- IF STONE FILTERS BECOME CLOGGED WITH SEDIMENT SO THAT THEY NO LONGER ADEQUATELY PERFORM THEIR FUNCTION, THE STONES MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED.

**POST-CONSTRUCTION SITE PROTECTION:**

- ALL DEWATERING, EROSION AND SEDIMENT CONTROL TO REMAIN IN PLACE AFTER COMPLETION OF CONSTRUCTION AND REMOVED ONLY WHEN AREAS HAVE STABILIZED.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER TEMPORARY BARRIERS ARE, NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA IN SUCH A MANNER THAT IT WILL NOT ERODE.
- ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.

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NC Firm Certificate No. P-1836

City of Wilmington Approval Blocks

Public Services • Engineering Division

APPROVED PLAN - NO PERMIT REQUIRED

Signed: *Todd Baker for RAC*

Approved Construction Plan

Name: *E.K. Futral* Date: *8-6-18*

Planning: *W. E. ...* 8-6-18

Traffic: *...* 8-6-18

Fire: *...* 8-6-18

Date	Description
05.17.18	ISSUE FOR REVIEW
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07.25.18	REVISED PER PARKING LOT PLAN COMMENTS
08.01.18	REVISED PER PARKING LOT PLAN COMMENTS

Seal / Signature

NISET SAPPARKHAO, P.E.  
NC REG. NO. 38066

WORTH CAROLINA PROFESSIONAL SEAL 038066

ENGINEER  
NISET SAPPARKHAO  
AUG 03 2018

DATE

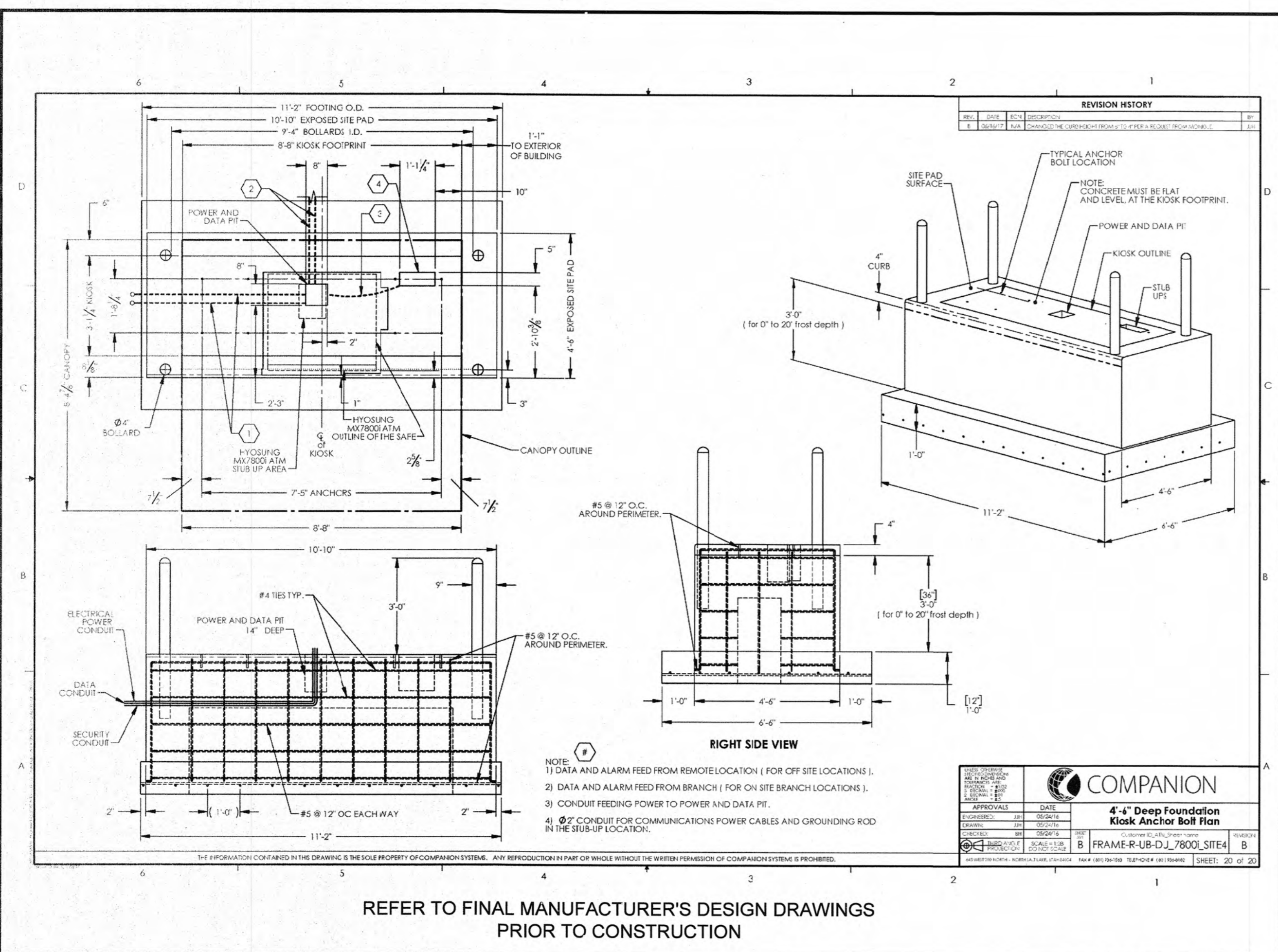
Project Name  
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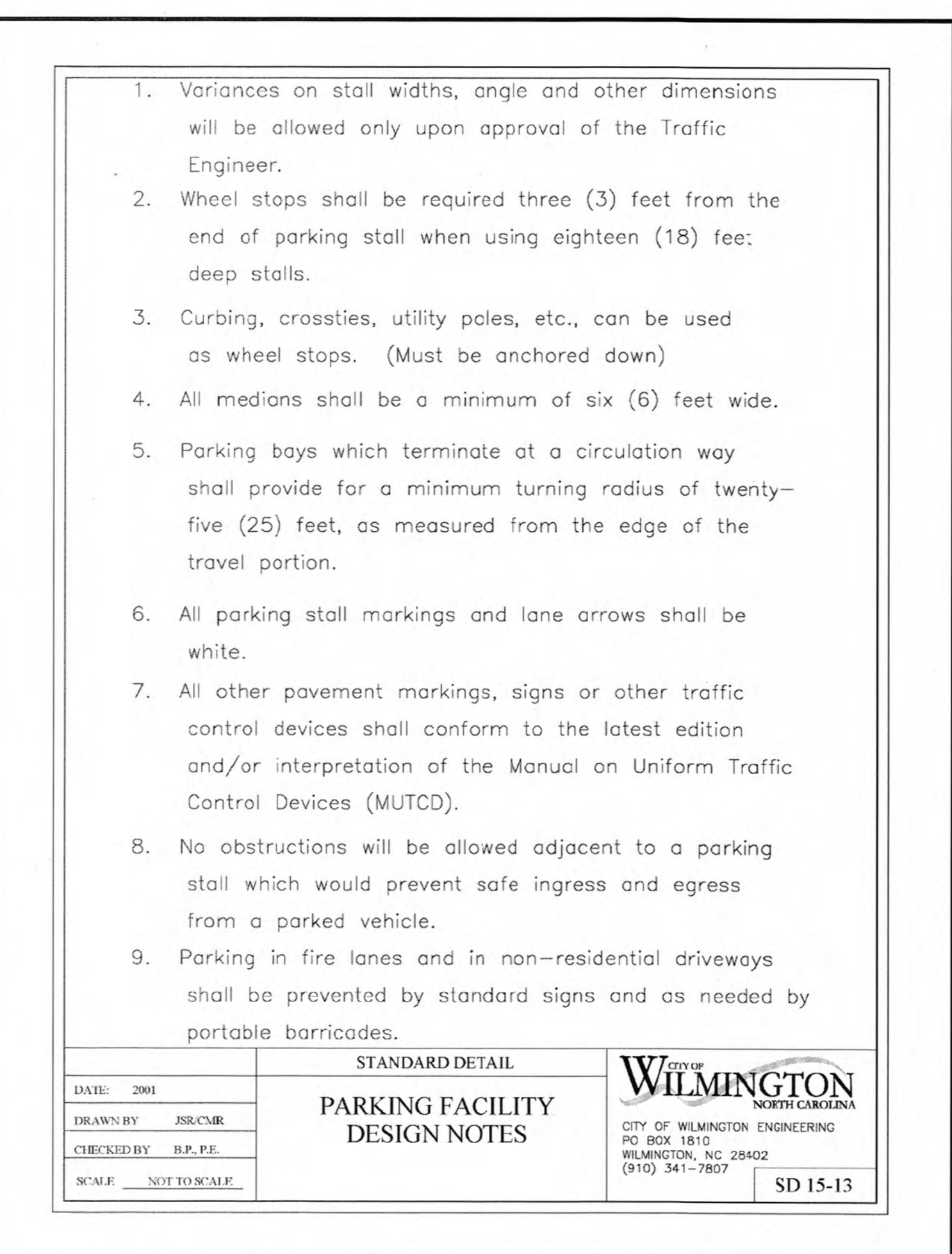
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**C12.02**

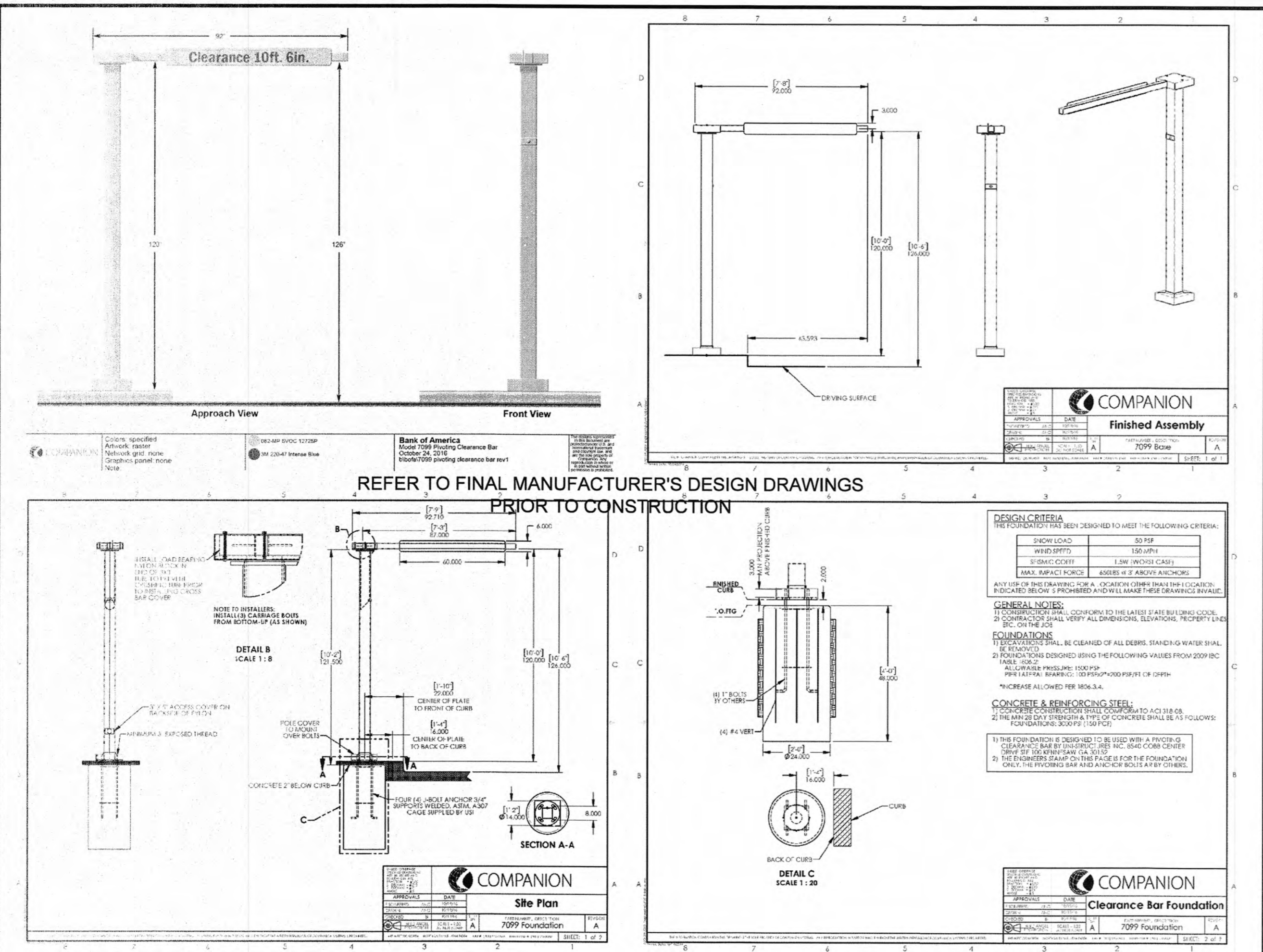


REFER TO FINAL MANUFACTURER'S DESIGN DRAWINGS  
PRIOR TO CONSTRUCTION

**ATM CONCRETE FOUNDATION DETAIL: DEEP FOUNDATION** SCALE NTS 1

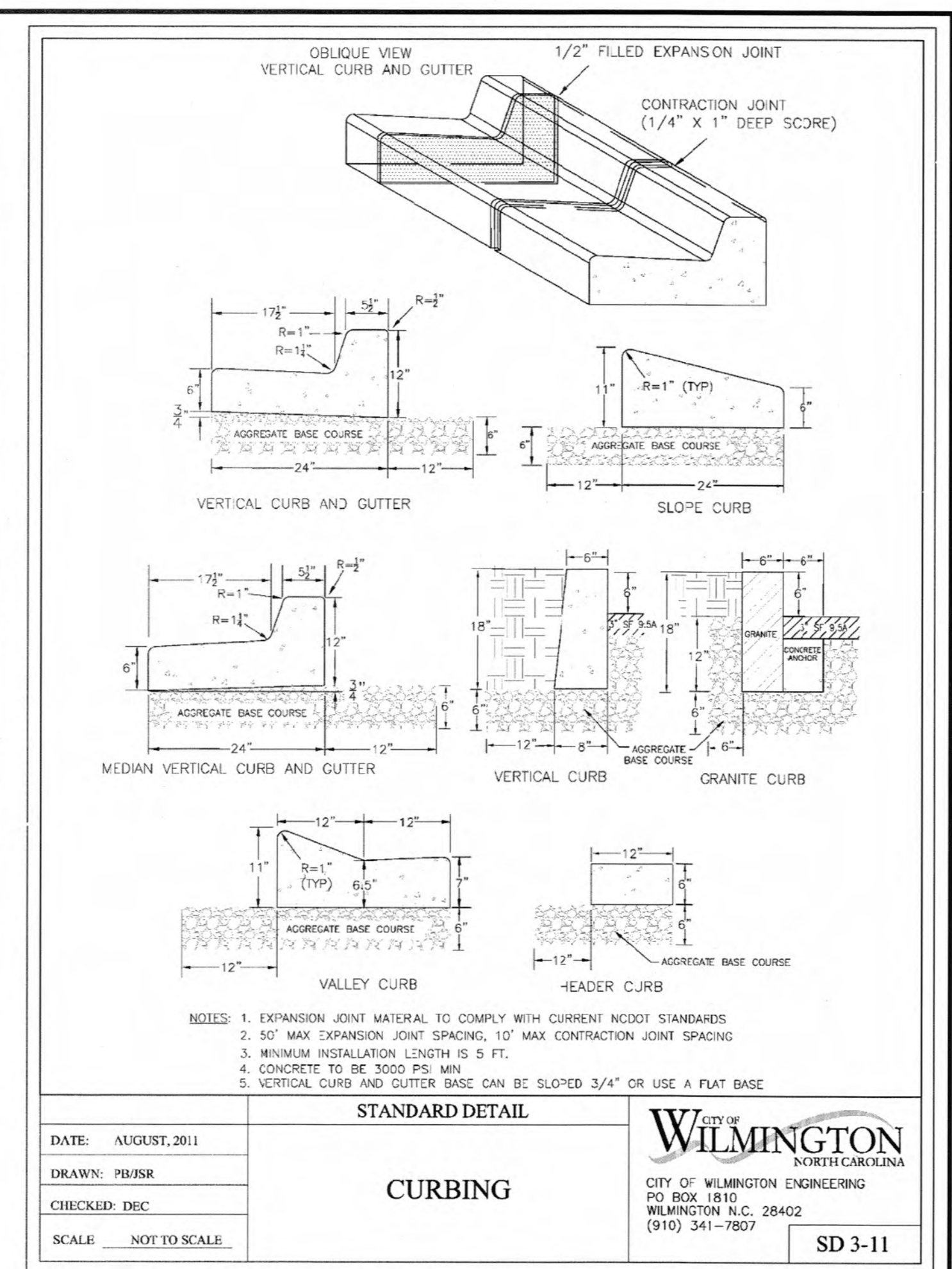


**CITY STANDARD DETAIL: SD 15-13** SCALE NTS 3



REFER TO FINAL MANUFACTURER'S DESIGN DRAWINGS  
PRIOR TO CONSTRUCTION

**CLEARANCE BAR DETAIL** SCALE NTS 2



**CITY STANDARD DETAIL: SD 3-11** SCALE NTS 4

1. Variances on stall widths, angle and other dimensions will be allowed only upon approval of the Traffic Engineer.
2. Wheel stops shall be required three (3) feet from the end of parking stall when using eighteen (18) feet deep stalls.
3. Curbing, cross-ties, utility poles, etc., can be used as wheel stops. (Must be anchored down)
4. All medians shall be a minimum of six (6) feet wide.
5. Parking bays which terminate at a circulation way shall provide for a minimum turning radius of twenty-five (25) feet, as measured from the edge of the travel portion.
6. All parking stall markings and lane arrows shall be white.
7. All other pavement markings, signs or other traffic control devices shall conform to the latest edition and/or interpretation of the Manual on Uniform Traffic Control Devices (MUTCD).
8. No obstructions will be allowed adjacent to a parking stall which would prevent safe ingress and egress from a parked vehicle.
9. Parking in fire lanes and in non-residential driveways shall be prevented by standard signs and as needed by portable barricades.



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Name: *EV Jutal* Date: *8.6.18*  
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